

Annwyl Gyngorydd,

PWYLLGOR CYNLLUNIO - DYDD IAU, 13EG RHAGFYR, 2018

Gweler yn amgaaedig, yr atodiadau a cynlluniau ar gyfer y cyfarfod uchod.

Rhif ar yr
Agenda Eitem

3. **E/34791 - BYDD Y DATBLYGIAD TYRBINAU GWYNT ARFAETHEDIG YM MRYN BUGAIL YN CYNWYS TYRBIN GWYNT SENGL, A FYDD YN GALLU CYNHYRCHU HYD AT 100KW GYDA'R TYRBIN YN MESUR 37 METR HYD AT UCHDER Y BOTH, GYDA DIAMEDR ROTOR O 24 METR, GAN GREU UCHDER LLAFN CYFFREDINOL O HYD AT 49 METR. BYDDAI'R TYRBIN GWYNT WEDI'I LEOLI MEWN CAE SYDD AR HYN O BRYD YN CAEL EI DEFNYDDIO AR GYFER PORI A GALL Y DEFNYDD HWN BARHAU GYDA'R TYRBIN GWYNT YN BRESENNOL AR DIR YM MRYN BUGAIL, CAERFYRDDIN, SA32 7JX.**
(Tudalennau 3 - 28)
4. **W/36131 - NEWID DEFNYDD RHANNOL ARFAETHEDIG I ARDAL FACH MEWN FFATRI/GWEITHDY FFRÂM BREN I'W DEFNYDDIO FEL GOFOD CAMPFA FFITRWYDD A CHWILBEDLO (I'W OSOD). NEWID DEFNYDD RHAN O'R CAE CYFAGOS I FOD YN FAES PARCIO PWRPASOL AR GYFER Y DEFNYDD CAMPFA A CHWILBEDLO ARFAETHEDIG YN Y GWEITHDY, BWLCH Y DOMEN ISAF, PANT Y BWLCH, CASTELLNEWYDD EMLYN, SA38 9JF.** (Tudalennau 29 - 56)
5. **RHANBARTH Y DE - PENDERFYNU AR GEISIADAU CYNLLUNIO** (Tudalennau 57 - 120)
6. **RHANBARTH Y GORLLEWIN - PENDERFYNU AR GEISIADAU CYNLLUNIO**
(Tudalennau 121 - 234)

Yn gywir,

Mark James DYB

Prif Weithredwr

Amg.

ADDENDUM – Area East

<i>Application Number</i>	E/34791
<i>Proposal & Location</i>	THE PROPOSED BRYN BUGAIL WIND TURBINE DEVELOPMENT WILL COMPRISE OF A SINGLE WIND TURBINE, WHICH WILL HAVE AN EMBEDDED CAPACITY OF UP TO 100KW WITH THE TURBINE MEASURING 37 METERS TO HUB HEIGHT, WITH A 24 METRE ROTOR DIAMETER, CREATING AN OVERALL BLADE TIP HEIGHT OF UP TO 49 METRES. THE WIND TURBINE WOULD BE LOCATED IN A FIELD WHICH IS CURRENTLY USED FOR GRAZING AND THIS USE CAN CONTINUE WITH THE WIND TURBINE PRESENT AT LAND AT BRYNBUGAIL, CARMARTHEN, SA32 7JX

DETAILS:

PLANNING POLICY

Since the publishing of the report, Welsh Government has released the 10th version of Planning Policy Wales. Therefore any reference to Planning Policy Wales in the report needs to be superseded with the latest version as follows:-

Planning Policy Wales (10th Edition) December 2018 (PPW)

Energy

5.7 Context

5.7.1 The planning system plays a key role in delivering clean growth and the decarbonisation of energy, as well as being crucial in building resilience to the impacts of climate change. The transition to a low carbon economy not only brings opportunities for clean growth and quality jobs, but also has wider benefits of enhanced places to live and work, with clean air and water and improved health outcomes.

5.7.2 The Environment Act⁵⁵ sets a legal target of reducing greenhouse gas emissions by at least 80% by 2050. The Act also requires a series of interim targets (for 2020, 2030 and 2040) and associated carbon budgets for key sectors. The budgets will set limits on the total amount of greenhouse gas emissions emitted in Wales over a 5 year period to serve as stepping stones and ensure progress is made towards the 2050 target.

5.7.3 Climate change is a global challenge, with impacts felt at the local level presenting a significant risk to people, property, infrastructure and natural resources. We need to plan for these impacts, reducing the vulnerability of our natural resources and build an environment which can adapt to climate change. The planning system plays a significant role in managing this risk. Development allowed today will be around for decades to come. The most important decision the planning system makes is to ensure the right developments are built in the right places.

5.7.4 The Welsh Government is committed to delivering the outcomes set out in Energy Wales: A Low Carbon Transition⁵⁶. Our priorities are:

- reducing the amount of energy we use in Wales;
- reducing our reliance on energy generated from fossil fuels; and
- actively managing the transition to a low carbon economy.

5.7.5 These priorities contribute to reducing carbon emissions, as part of our approach to decarbonisation, whilst enhancing the economic, social, environmental and cultural well-being of the people and communities of Wales, in order to achieve a better quality of life for our own and future generations. This means taking precautionary action to prevent Wales being 'locked in' to further fossil fuel extraction and high carbon development. The planning system should facilitate delivery of both this and Welsh, UK and European targets on renewable energy.

5.7.7 The planning system should secure an appropriate mix of energy provision, which maximises benefits to our economy and communities whilst minimising potential environmental and social impacts. This forms part of the Welsh Government's aim to secure the strongest economic development policies, to underpin growth and prosperity in Wales, recognising the importance of decarbonisation and the sustainable use of natural resources, both as an economic driver and a commitment to sustainable development.

5.7.8 The benefits of renewable and low carbon energy, as part of the overall commitment to tackle climate change and increase energy security, is of paramount importance. The continued extraction of fossil fuels will hinder progress towards achieving overall commitments to tackling climate change. The planning system should:

- integrate development with the provision of additional electricity grid network infrastructure;
- optimise energy storage;
- facilitate the integration of sustainable building design principles in new development;
- optimise the location of new developments to allow for efficient use of resources;
- maximise renewable and low carbon energy generation;
- maximise the use of local energy sources, such as district heating networks;
- minimise the carbon impact of other energy generation; and
- move away from the extraction of energy minerals, the burning of which is carbon intensive.

Renewable Energy Targets

5.7.16 The Welsh Government has set targets for the generation of renewable energy:

- for Wales to generate 70% of its electricity consumption from renewable energy by 2030;
- for one Gigawatt of renewable electricity capacity in Wales to be locally owned by 2030; and
- for new renewable energy projects to have at least an element of local ownership by 2020.

5.7.17 The planning system has an active role to help ensure the delivery of these targets, in terms of new renewable energy generating capacity and the promotion of energy efficiency measures in buildings.

5.9 Renewable and Low Carbon Energy

5.9.1 Planning authorities should facilitate all forms of renewable and low carbon energy development. In doing so, planning authorities should seek to ensure their area's full potential for renewable and low carbon energy generation is maximised and renewable energy targets are achieved.

Local Energy Generation

5.9.5 The Welsh Government encourages the use of local renewable and low carbon energy as part of the imperative to reduce carbon emissions. Renewable and low carbon energy developments offer significant potential for communities and small businesses to develop their own projects for local benefit.

Locational Policies for Renewable and Low Carbon Energy Development

5.9.8 Planning authorities should support and guide renewable and low carbon energy development to ensure their area's potential is maximised. Planning authorities should assess the opportunities for renewable and low carbon energy in the area, and use this evidence to establish spatial policies in their development plan which identify the most appropriate locations for development. There should be a presumption in favour of development in identified areas, including an acceptance of landscape change, with clear criteria-based policies setting out detailed locational issues to be considered at the planning application stage.

5.9.9 Outside identified areas, planning applications for renewable and low carbon energy developments should be determined based on the merits of the individual proposal. The local need for a particular scheme is not a material consideration, as energy generation is of national significance and there is a recognised need to optimise renewable and low carbon energy generation. Planning authorities should seek to ensure their area's renewable and low carbon energy potential is achieved and have policies with the criteria against which planning applications outside of identified areas will be determined.

Development Management and Renewable and Low Carbon Energy

5.9.16 In determining applications for the range of renewable and low carbon energy technologies, planning authorities should take into account:

- the contribution a proposal will make to meeting identified Welsh, UK and European targets;
- the contribution to cutting greenhouse gas emissions; and
- the wider environmental, social and economic benefits and opportunities from renewable and low carbon energy development.

5.9.17 Planning authorities should give significant weight to the Welsh Government's targets to increase renewable and low carbon energy generation, as part of our overall approach to tackling climate change and increasing energy security. In circumstances where protected landscape, biodiversity and historical designations and buildings are considered in the

decision making process, only the direct irreversible impacts on statutorily protected sites and buildings and their settings (where appropriate) should be considered. In all cases, considerable weight should be attached to the need to produce more energy from renewable and low carbon sources, in order for Wales to meet its carbon and renewable targets.

5.9.18 Planning authorities should also identify and require suitable ways to avoid, mitigate or compensate adverse impacts of renewable and low carbon energy development. The construction, operation, decommissioning, remediation and aftercare of proposals should take into account:

- the need to minimise impacts on local communities, such as from noise and air pollution, to safeguard quality of life for existing and future generations;
- the impact on the natural and historic environment;
- cumulative impact;
- the capacity of, and effects on the transportation network;
- grid connection issues where renewable (electricity) energy developments are proposed; and
- the impacts of climate change on the location, design, build and operation of renewable and low carbon energy development. In doing so, consider whether measures to adapt to climate change impacts give rise to additional impacts.



***Y PWYLLGOR
CYNLLUNIO***

13 Rhagfyr 2018

***RHANBARTH Y
DWYRAIN***

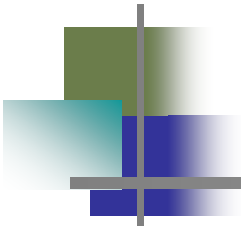
**PLANNING
COMMITTEE**

13 December 2018

**AREA
EAST**

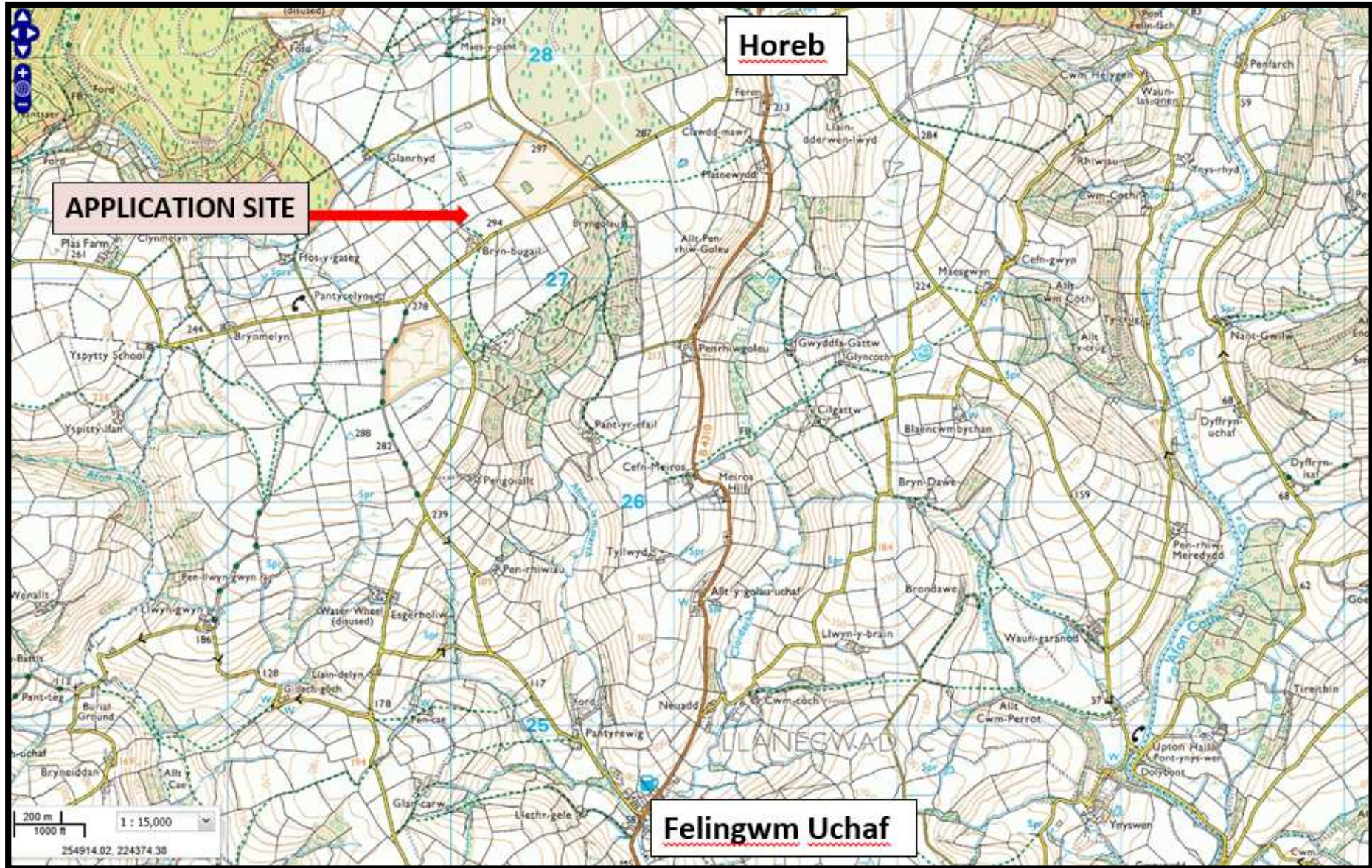
***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU CYMERADWYO***

**APPLICATIONS RECOMMENDED
FOR APPROVAL**



E/34791

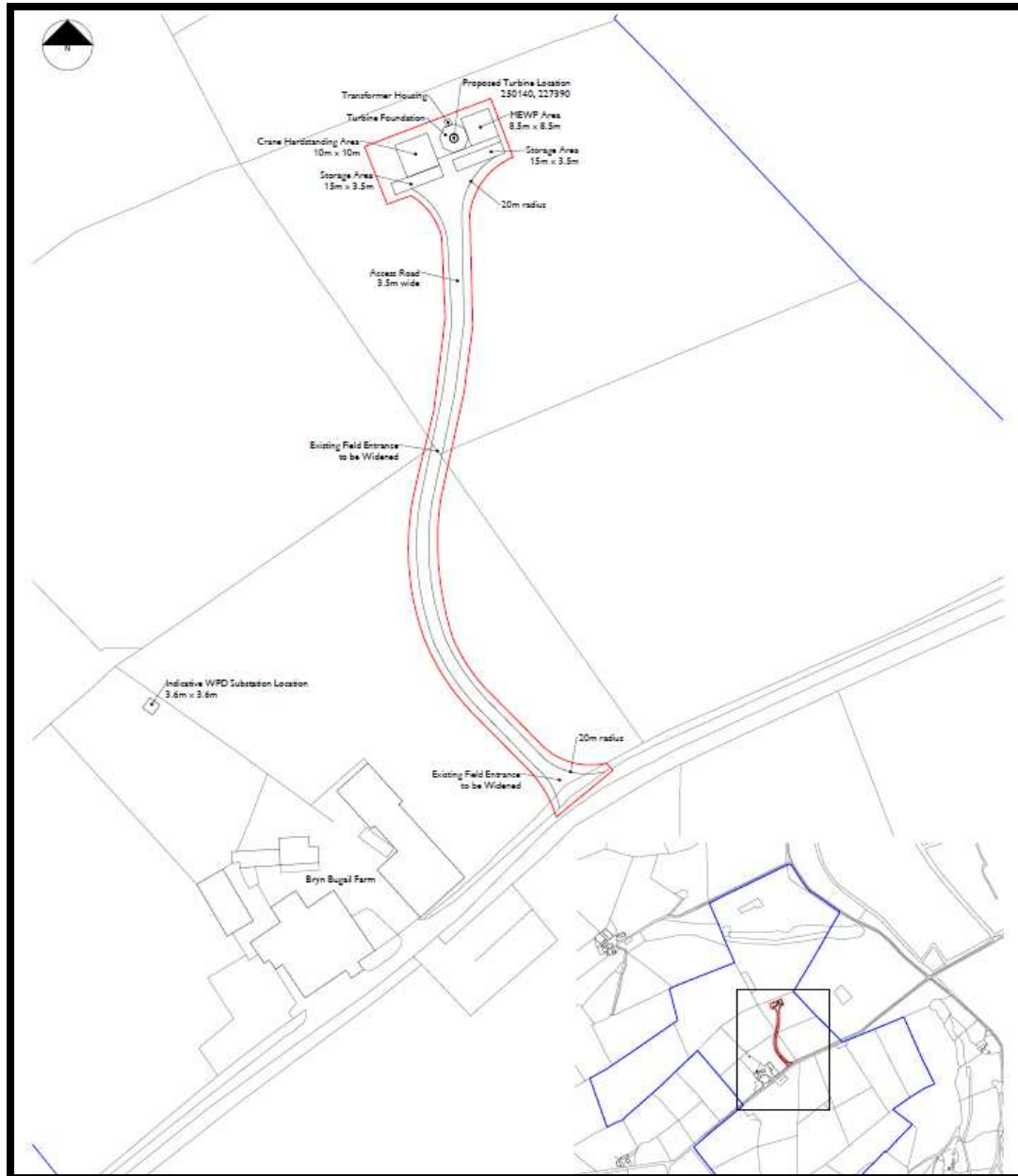
E/34791 Site Location (Ordnance Survey map)



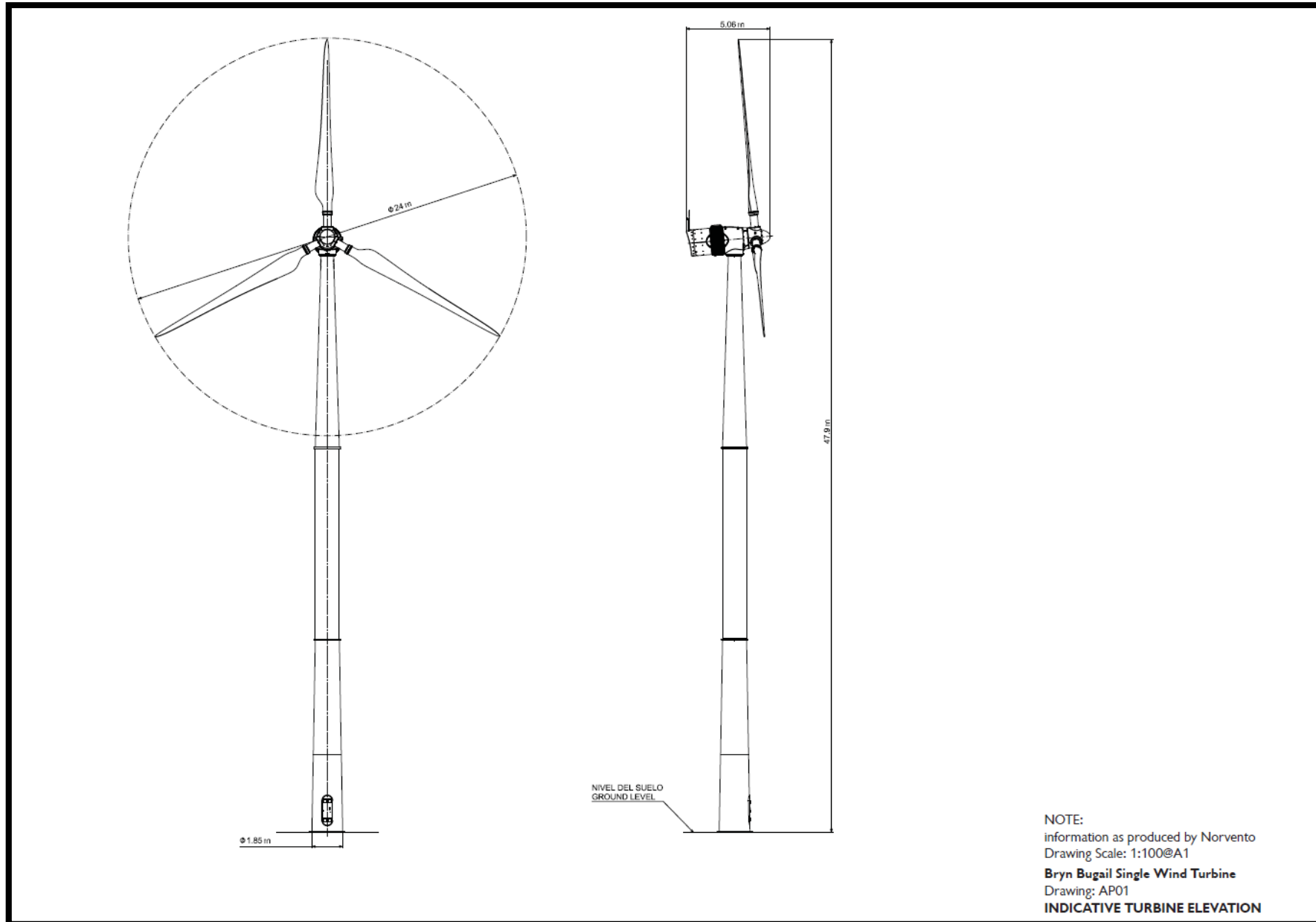
E/34791 Site Location (Aerial Photograph)



E/34791 Proposed Site Plan



E/34791 Proposed Elevations



E/34791 View from Minor Road to east of Bryn Bugail Farm (290m way)



PHOTOGRAPH



PHOTOMONTAGE

Viewpoint Information
Grid Reference: E250411 N227316
Altitude: 203m
Viewing height: 1.6m
Date of photo: 10/09/15
Time of photo: 10:55
Weather conditions: Sunny
Field of view: 120°
Viewing distance: 19.1cm
Approximate distance to proposed turbine: 290m
Camera: Canon EOS 5D Mark II
Focal length: 50mm
Paper size: 841 x 297mm



Map of the area showing the location of the viewpoint and the proposed turbine. The map is titled 'Viewpoint Location Map' and shows a red dot indicating the turbine location and a yellow dot indicating the viewpoint location. The map also shows the surrounding landscape and roads.

Based on the Ordnance Survey map with the permission of the controller of the Ordnance Survey (© Crown Copyright and the Controller of the Ordnance Survey 2015)

Project:
Dingle Wind Turbine
Bryn Bugail, Carmarthenshire

View:
Viewpoint 1: View from East of Bryn Bugail Farm
Photomontage

Project No: 11
Date: 09 Oct 2015

citybrewster
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CITY BREWSTER
CITY BREWSTER

City Brewster
Telephone: +44(0)1283 547111
Email: info@citybrewster.co.uk
Website: www.citybrewster.co.uk

E/34791

View from south-east of Ffos y Gaseg (595m away)



Viewpoint Information
Grid Reference: E249807 N226908
Altitude: 291m
Viewing height: 1.6m
Date of photo: 10/09/15
Time of photo: 11:40
Weather conditions: Sunny
Field of view: 126°
Viewing distance: 18.2cm
Approximate distance to proposed turbine: 595m
Camera: Canon EOS 5D Mark II
Focal length: 50mm
Paper size: 841 x 297mm



Viewpoint Location Inset

Based upon the Ordnance Survey Map with the permission of the controller of HM
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Project
Single Wind Turbine
Bryn Bugal, Carmarthenshire

Site
Viewpoint 2: South-east of Ffos-y-gaseg
Photomontage

Figure No.	Sheet	Date
23	B4	Oct 2015

soltysbrewster
CONSULTING

1 Caerleon House
Caerleon Road
Newport
NP23 5AA

Telephone: +44(0) 1793 5040 8474
Facsimile: +44(0) 1793 5040 8483
Email: enquiries@soltysbrewster.co.uk

E/34791

View from west of Danybank Plas Farm (2.35km away)



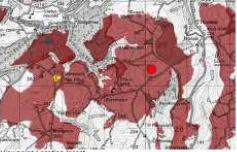
Conifer Plantation
Small Group of Conifer Trees in Open Access Land
Bryn Bugall Farm



Rhosfach Farm
Proposed Turbine

Viewpoint Information
 Grid Reference: E247809 N227191
 Altitude: 268m
 Viewing height: 1.6m
 Date of photo: 10/09/15
 Time of photo: 12:15
 Weather conditions: Partially Cloudy
 Field of view: 105°
 Viewing distance: 21.8cm
 Approximate distance to proposed turbine: 2.35km
 Camera: Canon EOS 5D Mark II
 Focal length: 50mm
 Paper size: 841 x 297mm

Turbine Planning Status:
 Proposed Bryn Bugall Turbine
 Approved



Viewpoint Location H1471

Based upon the Ordnance Survey map with the permission of the controller of HMS, Stationery Office Crown Copyright Licence Number AA 100029242.

Project:
 Single Wind Turbine
 Bryn Bugall, Carmarthenshire

Site:
 Viewpoint 3: West of Danybank Plas Farm
 Windline

Issue no. Issue Issue Date
 24 04 Oct 2015

soilcysbrewster
 CONSULTING

1 Sullys House
 Sullys Road
 Sullys
 Carmarthen, SA31 3JG
 Wales

Telephone: +44(0)1292 64117
 Fax: +44(0)1292 64118
 Email: enquiries@soilcysbrewster.co.uk

E/34791 View from Footpath to the north of Bryn Bugail Farm (180m away)

Viewpoint Information

Grid Reference: E249980 N227318
 Altitude: 293m
 Viewing height: 1.6m
 Date of photo: 10/09/15
 Time of photo: 13:55
 Weather conditions: Partially Cloudy
 Field of view: 134°
 Viewing distance: 17.1cm
 Approximate distance to proposed turbine: 180m
 Camera: Canon EOS 5D Mark II
 Focal length: 50mm
 Paper size: 841 x 297mm

Turbine Planning Status

Proposed Bryn Bugail Turbine
 Operational
 Approved

Viewpoint Location Insert

Based upon the Ordnance Survey data with the permission of the controller of OS. © Crown Copyright. Licence number: 100012162.

Project:
 Single Wind Turbines
 Bryn Bugail, Carmarthenshire

Site:
 Viewpoint 4: Footpath to the north of Bryn Bugail Farm

Revision: 25 Issue: 04 Date: Oct 2015

soilysbrewster
 CONSULTING

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 Fax: +44(0)1292 841112
 Email: enquiries@soilysbrewster.co.uk

E/34791 View from Footpath within Cothi Valley SLA (4.4km away)



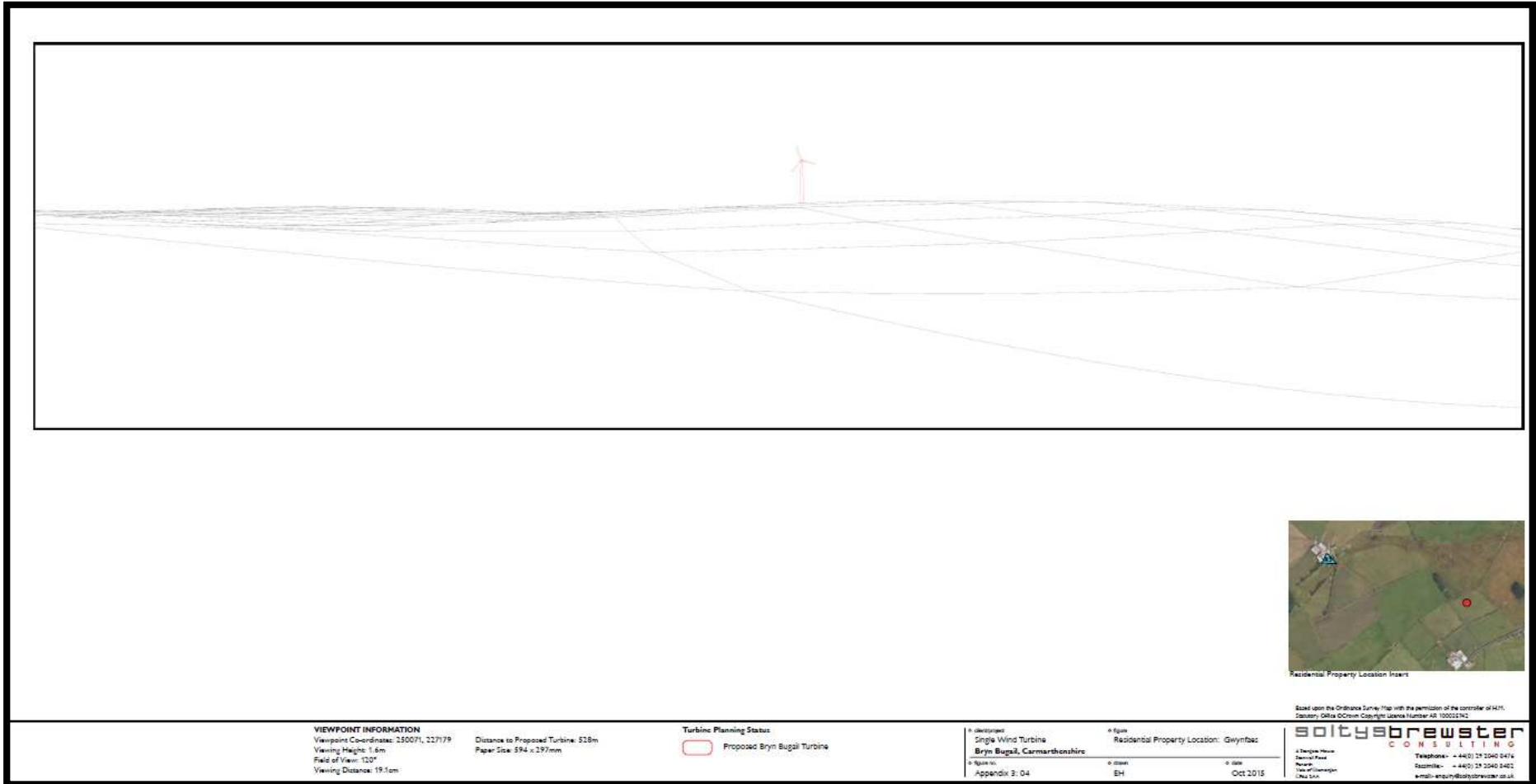
E/34791 Proximity of Wind turbine to nearest residential properties (Glanrhyd & Gwynfaes)



E/34791 Proximity of Wind turbine to nearest Public Right of Way (PROW 41/55)



View of Wind Turbine from Glanrhyd & Gwynfaes



E/34791 View from C1256 Cross-Roads



E/34791 View from U5576 (north-east)



E/34791 View from Glanrhyd Farm entrance (North-east)



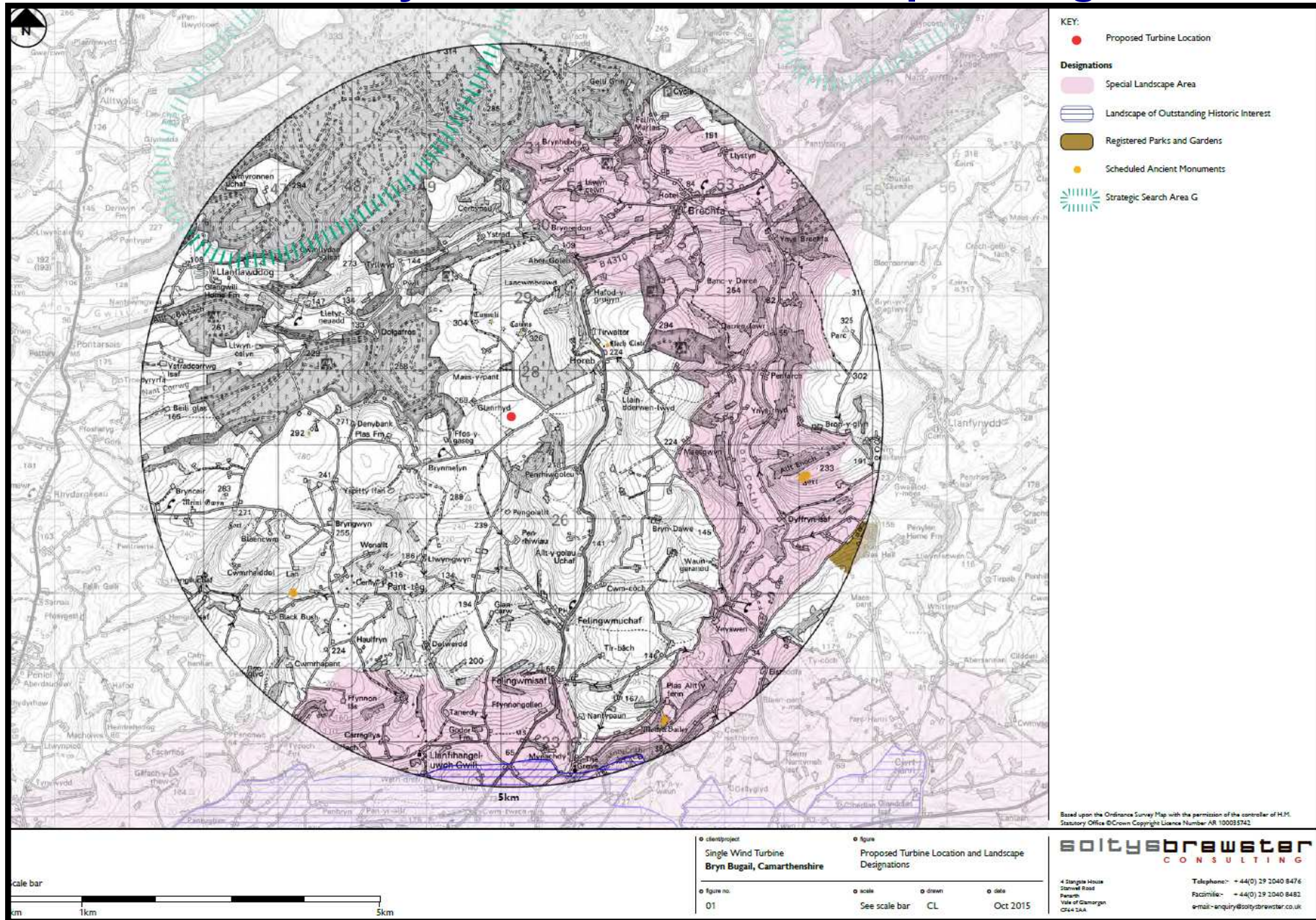
E/34791 View from site entrance (off C1256)



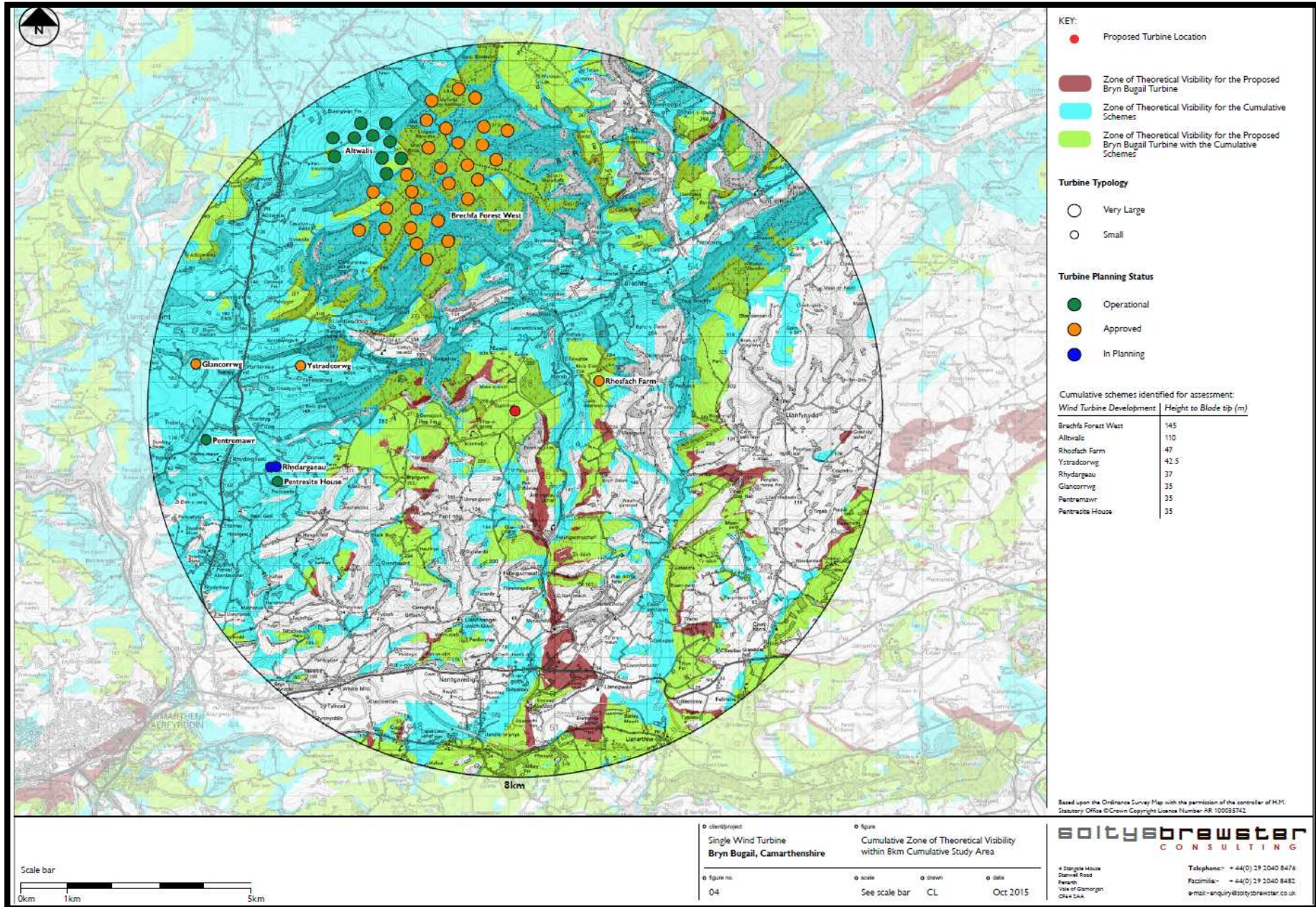
E/34791 View from Pantycelyn (south-west)



E/34791 Proximity of turbine to Landscape Designations



E/34791 Proximity of turbine to other wind turbines





***Y PWYLLGOR
CYNLLUNIO***

**PLANNING
COMMITTEE**

13 RHAGFYR 2018

13 DECEMBER 2018

***RHANBARTH Y
GORLLEWIN***

**AREA
WEST**

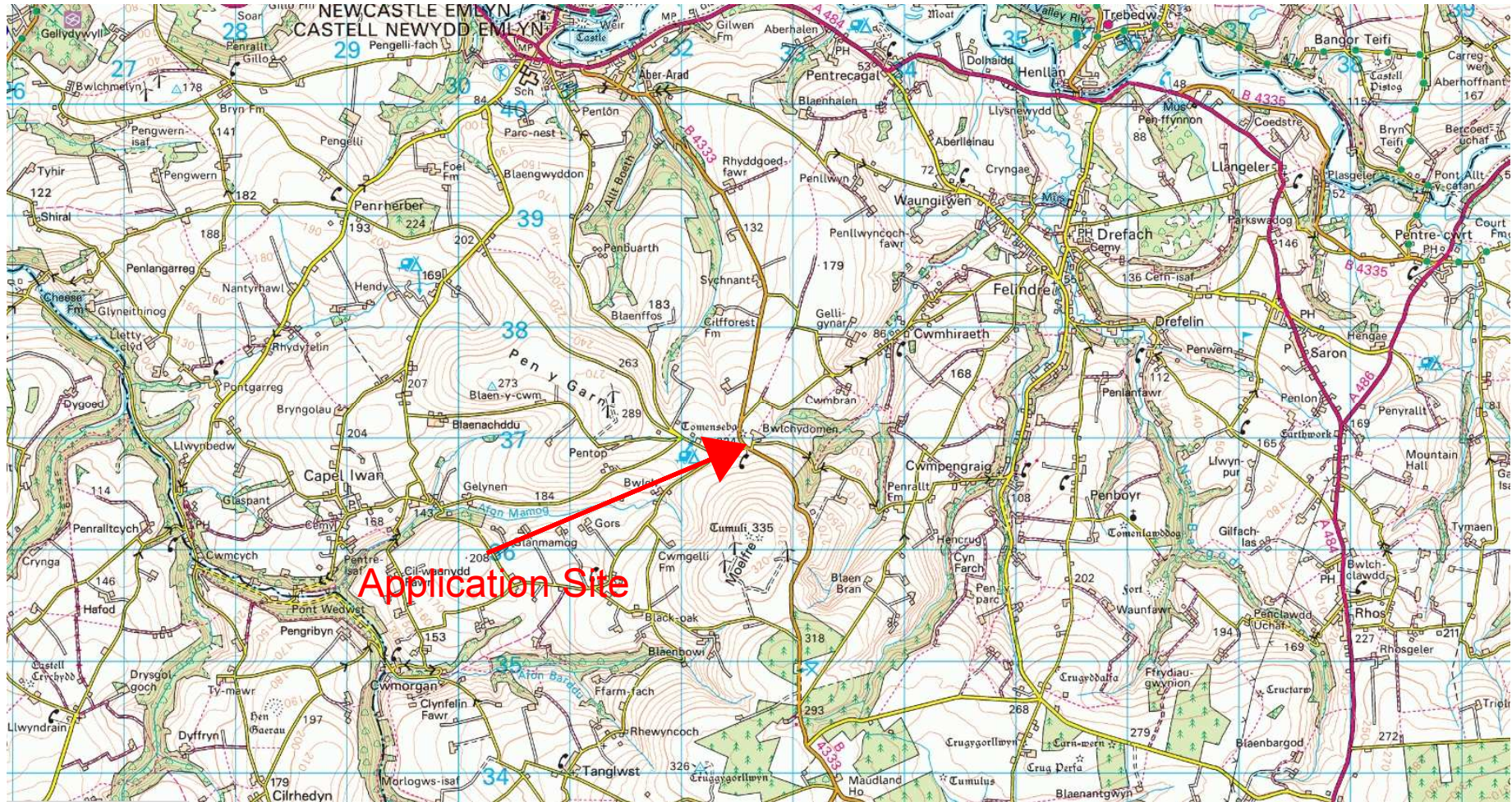
***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU GWRTHOD***

**APPLICATIONS RECOMMENDED
FOR REFUSAL**



W/36131

W/36131

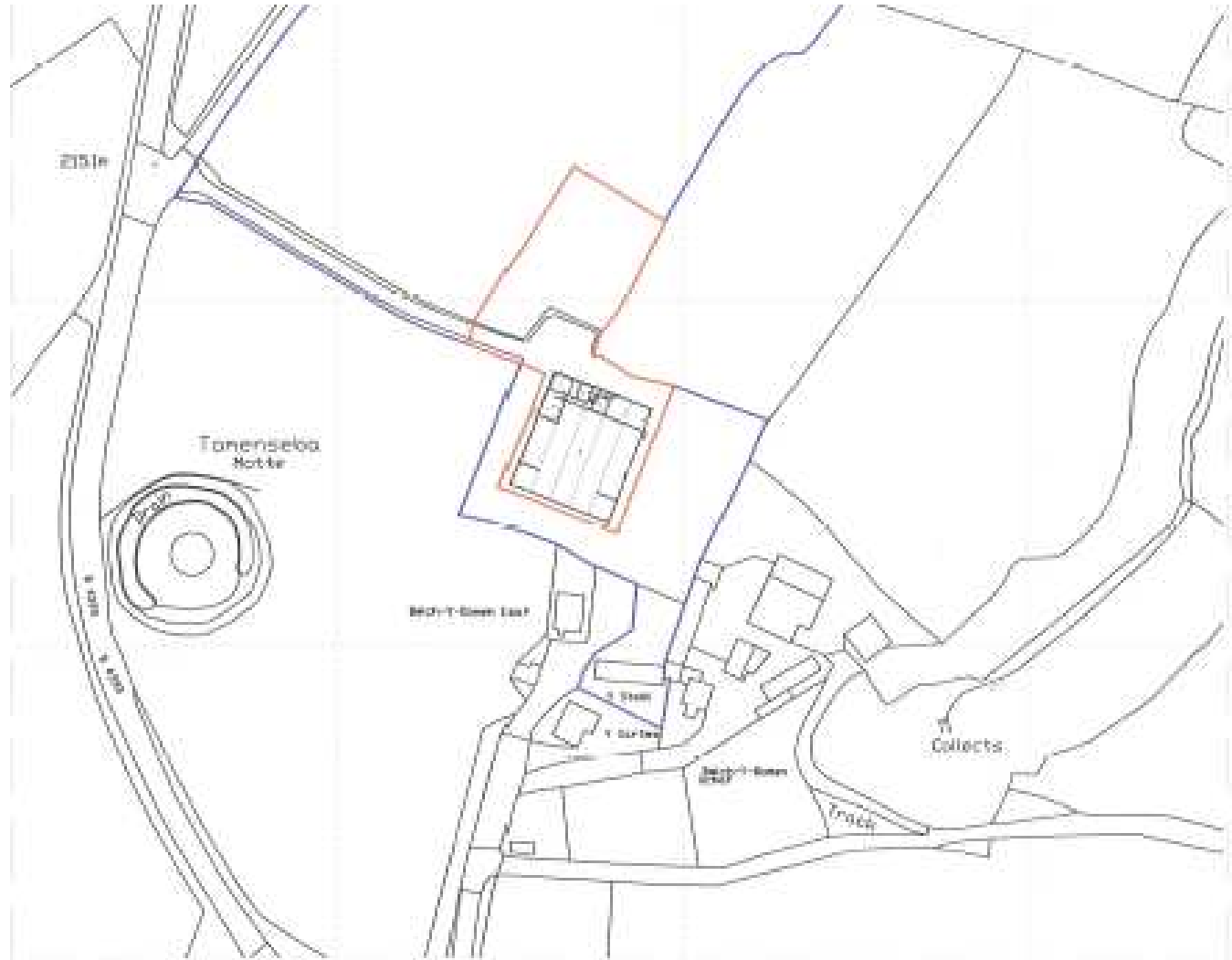


W/36131



Tudalen 33

W/36131

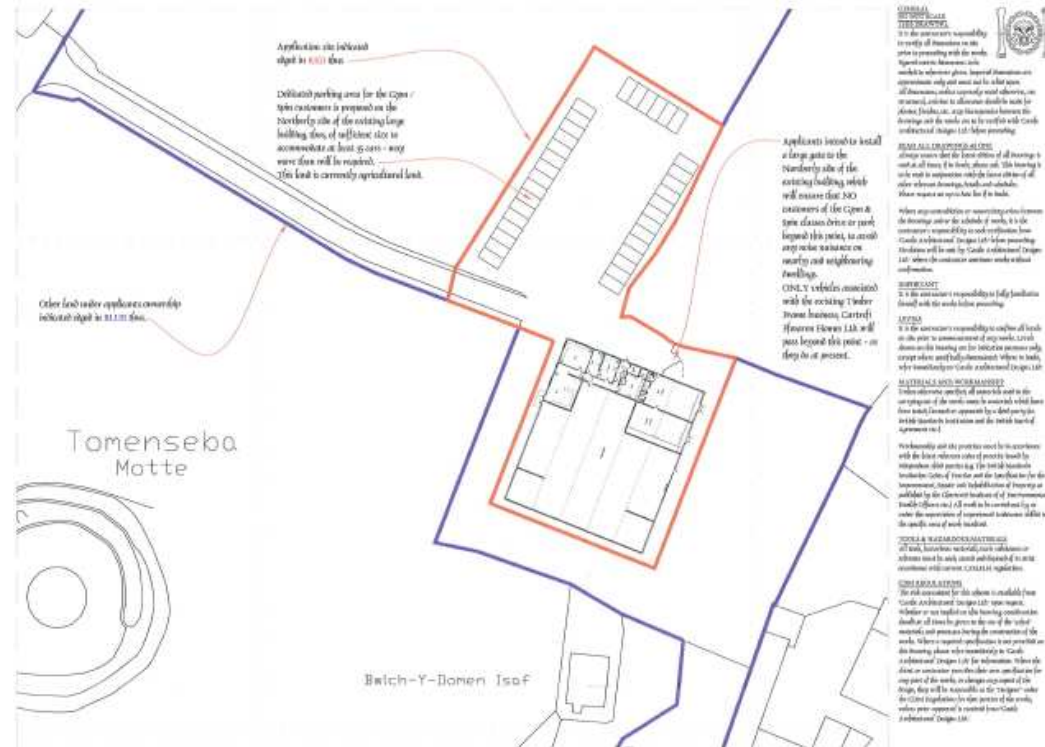


Site Location Map - As Existing

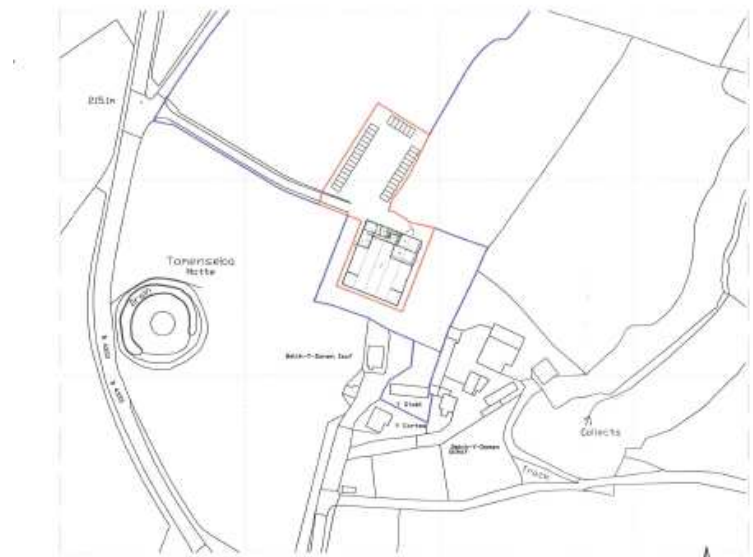
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W/36131



Site Plan - As Proposed 1:200



Site Location Map - As Proposed 1:200



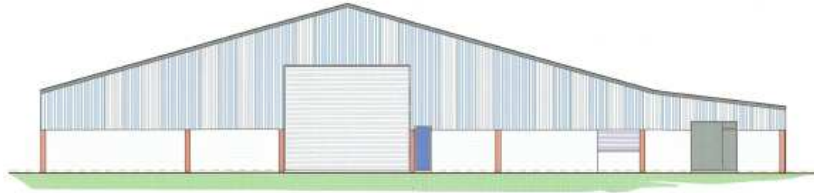
CASTLE

Architectural Designs Ltd.

<p>Director Matthew F. O'Sullivan MSc Chartered Architectural Technologist</p> <p>REGISTERED OFFICE Derek Hickey 9 Bridge Street Newcastle Embsay Co. Durham DL16 9JH</p> <p>Tel: 01226 71 11 69 Mob: 07700 11 31 90</p> <p>Registered in England & Wales Company Registration No. 0666996</p>	<p>1548-03</p> <p>Project: As Proposed Drawing Drawing Title: Floor Plans & Site Plan</p> <p>Scale: 1:200 Date: 12/10/2023</p> <p>Author: M.F.O. Check: M.F.O. Date: 12/10/2023</p> <p>Client: Cartrifl Heavyton House Ltd Address: Bwich-Y-Domen Isaf Newcastle Embsay Co. Durham DL16 9JH</p> <p>Project: Proposed Partial Change of Use of Existing Light Industrial Unit & Annex, Offices at Bwich-Y-Domen Isaf Part of Bwich, Newcastle Embsay, Co. Durham</p>
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As Proposed Drawing

W/36131



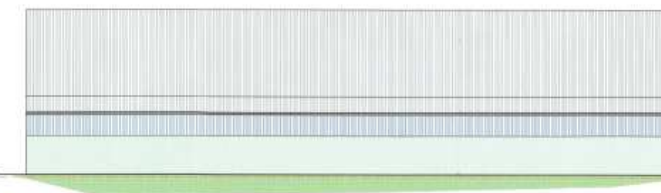
South-East Facing Elevation 1:1000



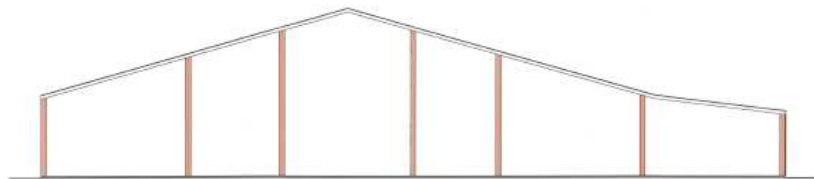
North-East Facing Elevation 1:1000



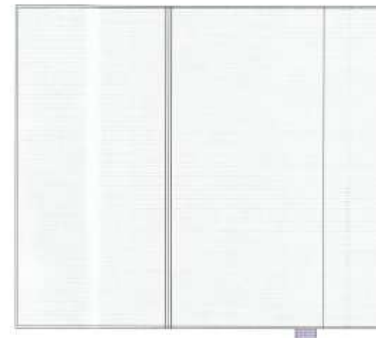
North-West Facing Elevation 1:1000



South-West Facing Elevation 1:1000



Typical Section 1:1000



Roof Plan 1:1000

CONTRACTOR'S RESPONSIBILITY
 It is the contractor's responsibility to ensure that all work is carried out in accordance with the contract documents and to ensure that the work is completed in accordance with the contract documents and to ensure that the work is completed in accordance with the contract documents.

DESIGNER'S RESPONSIBILITY
 The Designer is responsible for the design of the building and for ensuring that the building is designed in accordance with the contract documents and to ensure that the building is designed in accordance with the contract documents.

CLIENT'S RESPONSIBILITY
 The Client is responsible for providing the site and for ensuring that the site is suitable for the building and for ensuring that the building is completed in accordance with the contract documents.

GENERAL NOTES
 All work shall be carried out in accordance with the contract documents and to ensure that the work is completed in accordance with the contract documents.



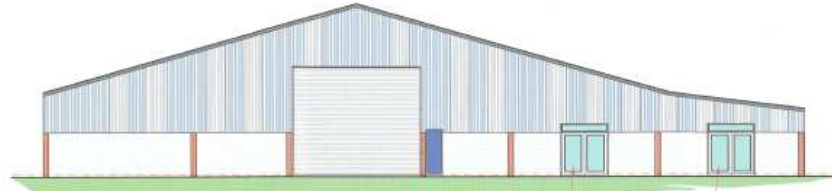
CASTLE

Architectural Designs Ltd.

<p>REGISTERED OFFICE Serek House 8 Bridge Street Newcastle Embsay Cumbria LA1 9JX</p>	
<p>Tel: 01223 71 11 88 Mob: 07920 11 31 88</p>	
<p>Registered Engineer & Valuer Company Registration No. 060206</p>	

As Existing Drawing

W/36131



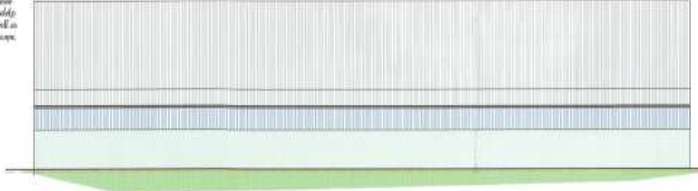
South-East Facing Elevation 1:100



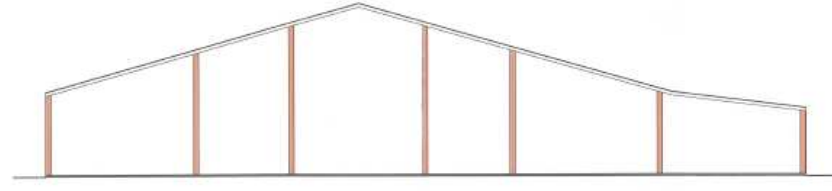
North-East Facing Elevation 1:100



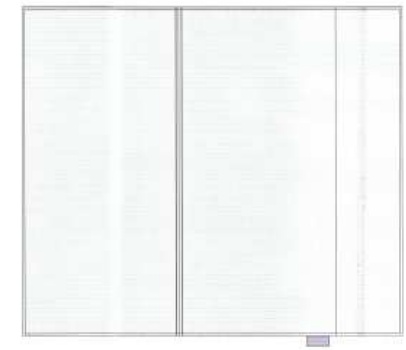
North-West Facing Elevation 1:100



South-West Facing Elevation 1:100



Typical Section 1:100



Roof Plan as Proposed - No Changes 1:100

1 No white stain of glass doors with glass for light cover to allow natural light into side of the main office (Open & Spine Areas)

NOTES
These sets of doors will be kept closed when the gate is in use, and are solely for lighting in natural light as well as for use in emergency means of escape.

New opening to be formed on the North-East facing elevation and roof from the perimeter entrance to the proposed Open & Spine areas.

GENERAL NOTES:

1. The contractor is responsible for the safety of all operatives on the site in providing all the work.

2. All work is to be done in accordance with the relevant parts of the Building Regulations and any other applicable legislation.

3. All work is to be done in accordance with the relevant parts of the Building Regulations and any other applicable legislation.

4. All work is to be done in accordance with the relevant parts of the Building Regulations and any other applicable legislation.

5. All work is to be done in accordance with the relevant parts of the Building Regulations and any other applicable legislation.

6. All work is to be done in accordance with the relevant parts of the Building Regulations and any other applicable legislation.

7. All work is to be done in accordance with the relevant parts of the Building Regulations and any other applicable legislation.

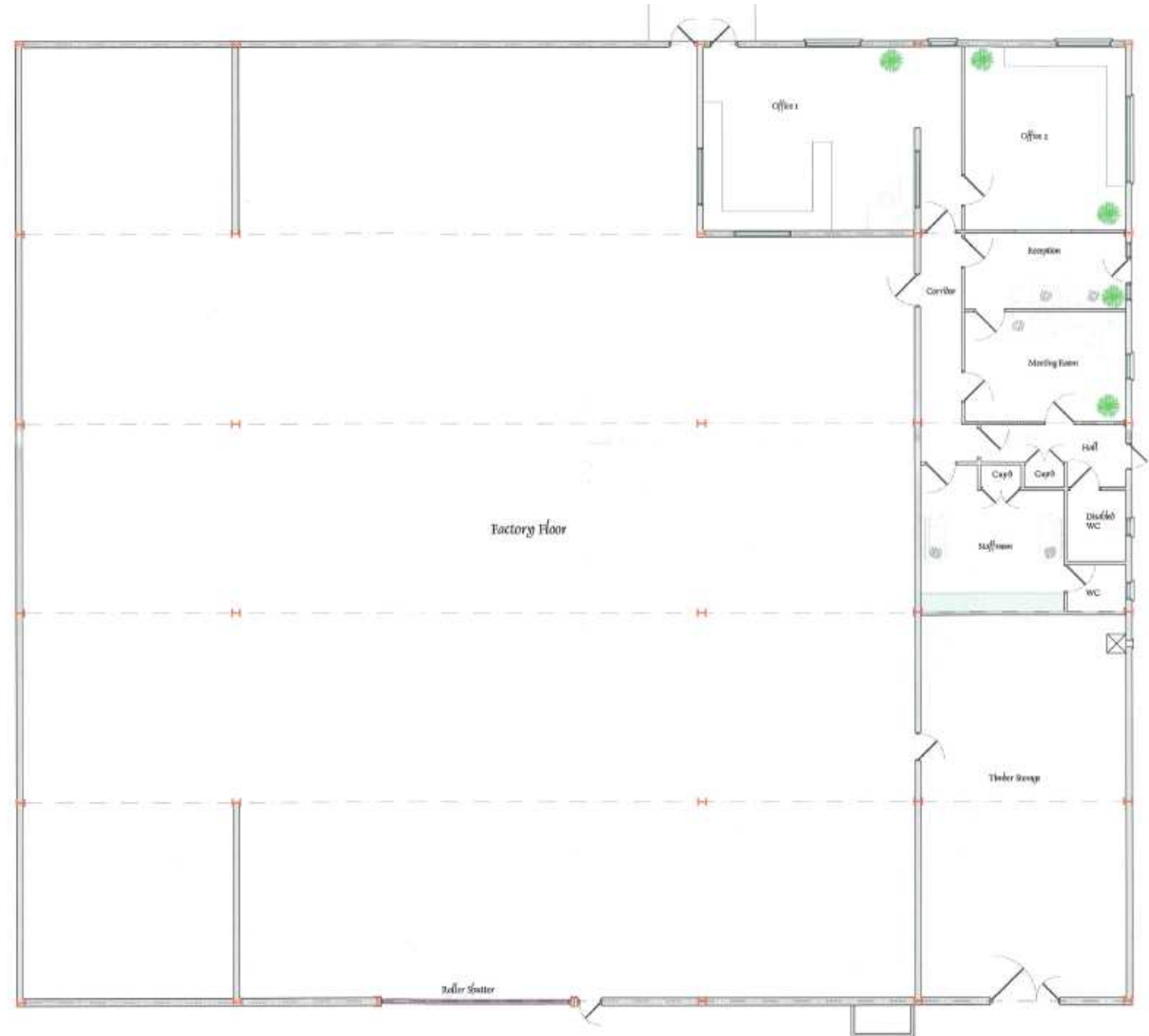
8. All work is to be done in accordance with the relevant parts of the Building Regulations and any other applicable legislation.

9. All work is to be done in accordance with the relevant parts of the Building Regulations and any other applicable legislation.

10. All work is to be done in accordance with the relevant parts of the Building Regulations and any other applicable legislation.

W/36131

Existing Floorplan



W/36131



Floor Plan - As Proposed 1:100

Tudalen 40

W/36131



W/36131



Tudalen 41

Tudalen 42

W/36131



W/36131



Tudalen 43

Tudalen 44

W/36131



W/36131



Tudalen 45

Tudalen 46

W/36131



W/36131



Tudalen 47

Tudalen 48

W/36131



W/36131



Tudalen 49

Tudalen 50

W/36131



W/36131



Tudalen 51

Tudalen 52

W/36131



W/36131



Tudalen 53

Tudalen 54

W/36131



W/36131



Tudalen 55

Tudalen 56

W/36131



*Ardal Del/
Area South*

**ADRODDIAD PENNAETH
CYNLLUNIO,
CYFARWYDDIAETH YR
AMGYLCHEDD**

**REPORT OF THE
HEAD OF PLANNING,
DIRECTORATE OF ENVIRONMENT**

**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN/**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 13 RHAGFYR 2018
ON 13 DECEMBER 2018**

**I'W BENDERFYNU/
FOR DECISION**

**ATODIAD
ADDENDUM**



ADDENDUM – Area South

<i>Application Number</i>	S/36465
<i>Proposal & Location</i>	THE PROPOSAL IS TO PROVIDE 34 NO NEW AFFORDABLE HOUSING ON THE EXISTING OPEN GROUND ADJACENT TO THE EXISTING DYLAN HOUSING ESTATE. TOGETHER WITH ASSOCIATED ECOLOGICAL MITIGATION WORKS TO INCLUDE A NEW WETLAND POND FEATURE. THERE WILL BE 28 NO 2 BEDROOM 4 PERSON HOUSES AND 6 NO 4 BEDROOM 7 PERSON HOUSES AT LAND ADJ DYLAN HOUSING ESTATE, LLANELLI, SA14 9AN

DETAILS:

CONSULTATIONS

Local Member – County Councillor S Davies who is the local member for the neighbouring Llwynhendy Ward has reiterated her previous concerns and objects to the application on the grounds of its highway impact, lack of infrastructure, overlooking of neighbouring properties and an increased risk of flooding.

Dwr Cymru/Welsh Water – Have examined the surface water betterment proposals submitted with the application and confirmed that they have no objection to the application subject to the imposition of suitable planning conditions.

APPRAISAL

Councillor Davies' concerns have been addressed in the main report presented to the Committee.

Members should be aware that the Planning Policy section of the original report provides an outline of the policy objectives of national planning policy as set out in Planning Policy Wales (PPW) (Edition 9, November 2016). Since publishing the report, this policy document has been superseded and replaced by a new version, namely Planning Policy Wales (Edition 10, December 2018).

The new version provides a national overview of planning policy on a wide range of issues relevant to the proposed development. It highlights the need to provide a range and choice of housing to respond to changes in household need and that the provision of quality housing with access to services, green spaces and community facilities helps to create the right conditions for better health and well-being. Furthermore, it advocates locating new housing within existing settlements to allow people to travel to places of employment, retailing and other community services by walking, cycling or public transport.

The document refers to the need for new housing in both urban and rural areas to include a mix of market and affordable house types, tenures and sizes to cater for a range of identified housing needs and contribute to the development of sustainable and cohesive communities. It highlights that a community's need for affordable housing must be taken into consideration in determining planning applications.

The recommendation to approve therefore remains unchanged.

ADDENDUM – Area South

<i>Application Number</i>	S/37933
<i>Proposal & Location</i>	SINGLE STOREY REAR EXTENSION WITH A BALCONY TO THE FIRST FLOOR AT 105 PENTRE NICKLAUS VILLAGE, LLANELLI, SA15 2DF

DETAILS:

CONSULTATIONS

Llanelli Town Council – Whilst it is understood that Llanelli Town Council did not originally object to the proposal at their meeting, in their response they have objected to the application on the basis that it would adversely affect the amenity of neighbouring properties and is thus contrary to Policies GP1 and GP6 of the LDP. The Town Council welcomes the request for a site visit by the Planning Committee.

Neighbours/Public – The owner/occupiers of nos. 97 and 104a Pentre Nicklaus, in addition to another member of the public, have now responded objecting to the application on the basis of a loss of privacy from the balcony.

With regard to no. 97, this property which has its own rear balcony is located on the opposite side of the road from the application property and therefore it is considered that there is no immediate effect upon the privacy and amenity of that property. In terms of no. 104a, views from the proposed balcony will primarily look out at the pine end and front of this property and therefore will not result in any adverse amenity implications.

As already mentioned in the main body of the Planning Committee report it is considered that the amenity of no. 106 Pentre Nicklaus will be safeguarded by the proposed privacy screen. In this respect it is recommended that the wording of Condition 3 of the main body of the report is amended to require the submission of full constructional detail of the proposed screen:-

Condition 3

- 3 Prior to the commencement of development full constructional detail inclusive of scaled drawings (1:20) of the proposed 1.8m high obscure glazed screen on the western side of balcony as shown on the approved drawings shall be submitted to and approved in writing by the Local Planning Authority. The approved screen should then be constructed in strict accordance with the approved detail prior to the beneficial use of the balcony.



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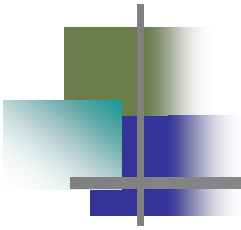
**PLANNING
COMMITTEE**

13 DECEMBER 2018

AREA SOUTH

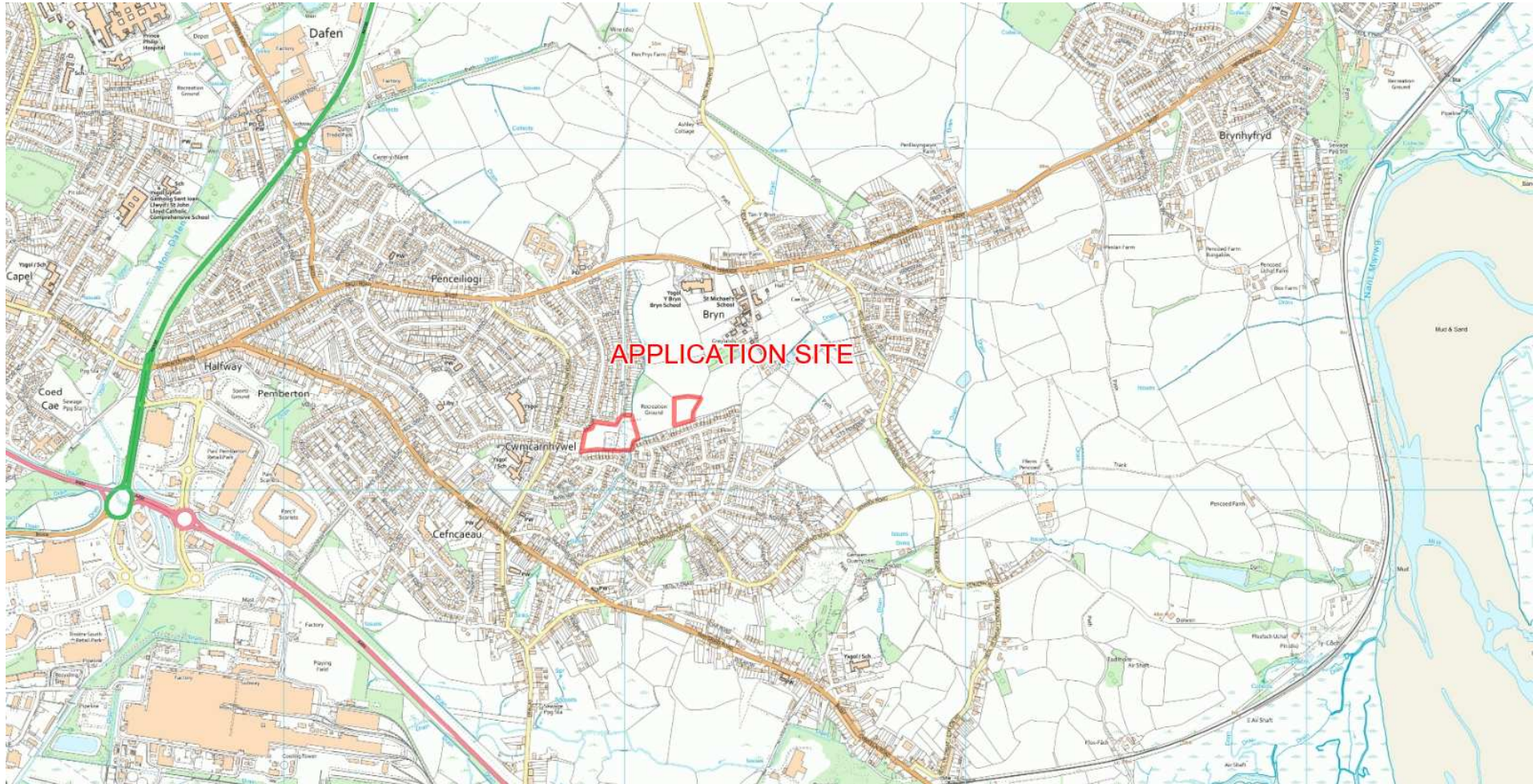
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**APPLICATIONS RECOMMENDED
FOR APPROVAL**



S/36465

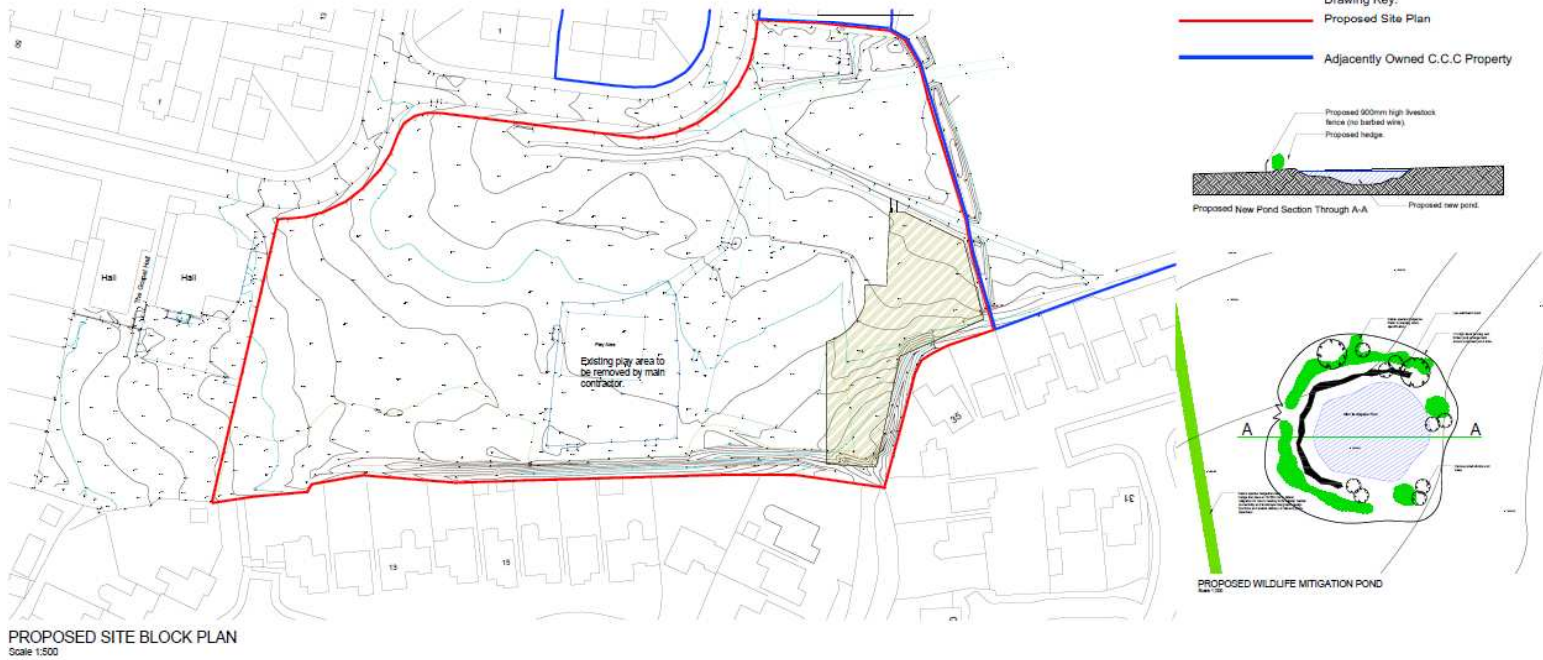
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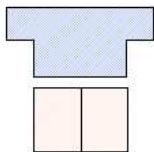
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DRAWING KEY:



7 Person 4 Bedroom House
Plot 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30

4 Person 3 Bedroom House
Plot 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100

Rate to plan for type A & B housing offering educational materials.

4,300 An Approved car parking spaces.

1000/2000 Three steel city trash bins per plot and provide bins where suitable on Street front concrete base. Ref: NBS-G20110.

8000 Paved Paths. Ref: NBS-G20110.

Roady line. Infirly 50mm 3 arm rotary line area (not to be used).

Area for refuse and recycling and composting area on a concrete base of 1000/1000. Ref: NBS-G20110.

- All boundaries to be enclosed with 1800mm high timber-clad board fence.
- Fenestration between dwellings to be 1800mm high closed board fence.
- All dwellings to have a rotary line bin store, external store & bin cage area.
- All dwellings to be terraced.
- All paths to be concrete 400mm wide around dwellings.
- Stairs to be timber construction and steel to suit Code for sustainable homes requirement.
- Plant garden areas to be finished in turf, with 40mm for houses.
- Every dwelling to have water but connected to a drainage pipe.
- Every dwelling to have a designated composting area.

Ref and BSH Boxes

Ref and BSH boxes to be designed to accommodate with current equipment and provided on dwelling elevations. Ref: NBS-G20110.

Location notes:

Boxes to be located as indicated on site. Allow one box and BSH box per dwelling.

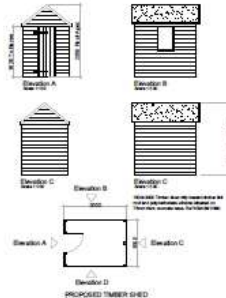
KEY:

- Grossed area within garden. Ref: NBS-G20110.
- Tarmac parking areas. Roadway flag NBS-G20110. Footways Ref: NBS-G20110.
- Concrete path.
- Bitex pavement.
- Existing foot water as per plan on WMOCC city map.
- Existing footwater as per plan on WMOCC city map.
- Existing surface water course.
- Indicated extent of existing watercourse to be located over.
- Indicated area to be cleared of existing rubbish and vegetation and turned into new grassed area as indicated by message on site.
- Indicated strip lawn.
- Indicated extent of closed board perimeter fencing to a height of 1800mm.

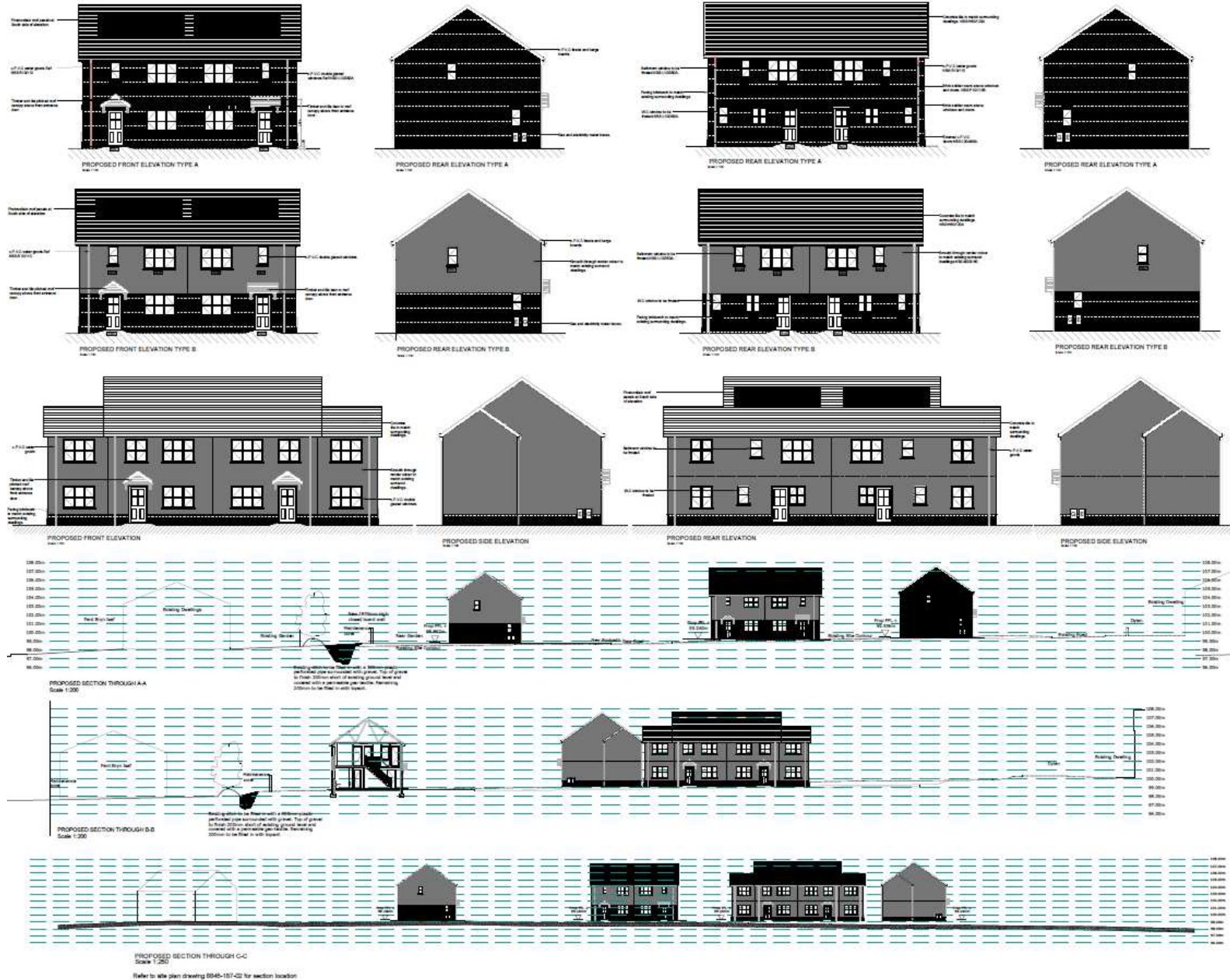
- Indicated extent of face brick wall perimeter fencing to a height of 1800mm at no. 2, 3, 5, 6, 8, 9, 10, 11, 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100.
- Existing trees along existing boundary to be cut back as indicated on site by message. All work to be carried out in accordance with BS-5830:2012.
- Existing footpath route.
- Proposed new footpath route.
- Proposed new footpath 1200mm wide to concrete edge with asphalt area & Tarmac surface.
- Site boundary.

NOTE:

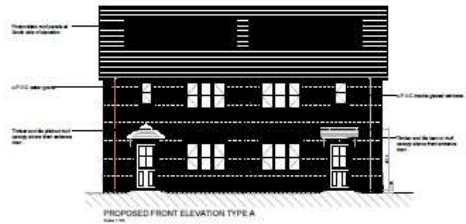
Refer to plans drawing 011605/AT14/EG/48/CP/0001. Charge deposit to be designed in accordance with technical report produced by ARRS. All proposed FSI of new dwellings indicative only and will require further site measurement. Sections on site shown on drawings 0165-107-08.



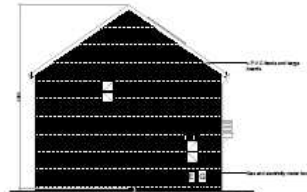
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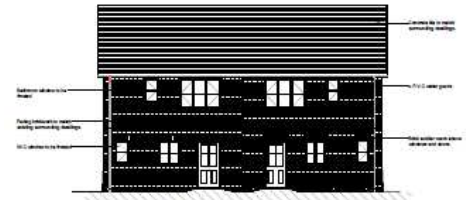
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PROPOSED FRONT ELEVATION TYPE A
Scale 1:50



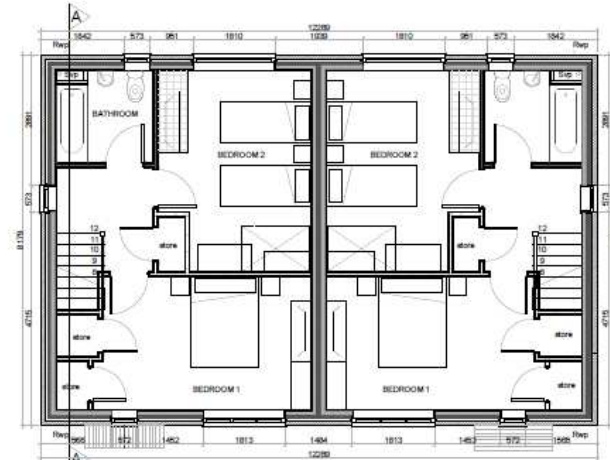
PROPOSED REAR ELEVATION TYPE A
Scale 1:50



PROPOSED REAR ELEVATION TYPE A
Scale 1:50



PROPOSED REAR ELEVATION TYPE A
Scale 1:50

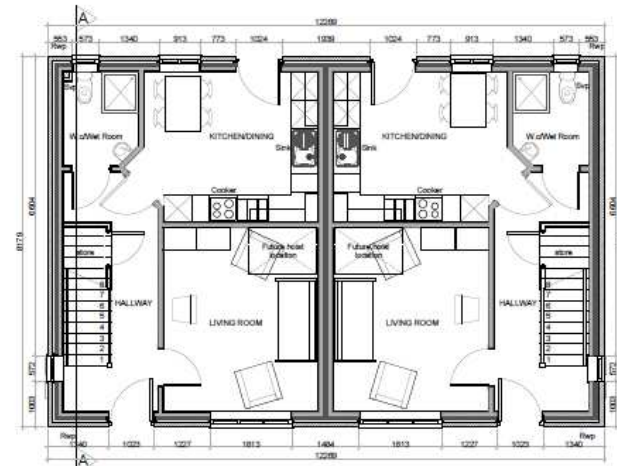


PROPOSED FIRST FLOOR PLAN TYPE A
Scale 1:50



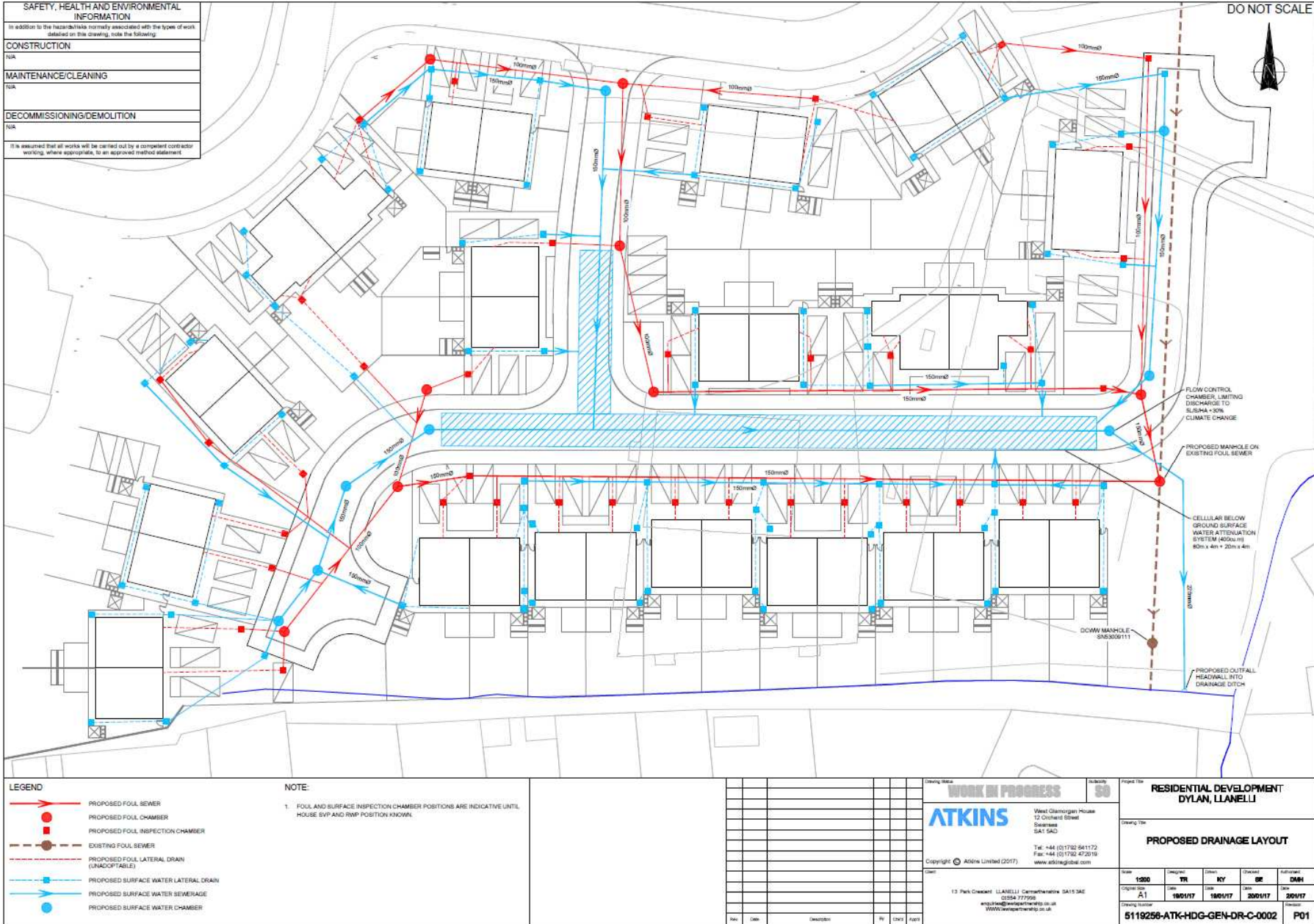
PROPOSED SECTION THROUGH A-A
Scale 1:50

Note:
All door and windows to be secure by design.
Houses to be DOR compliant.

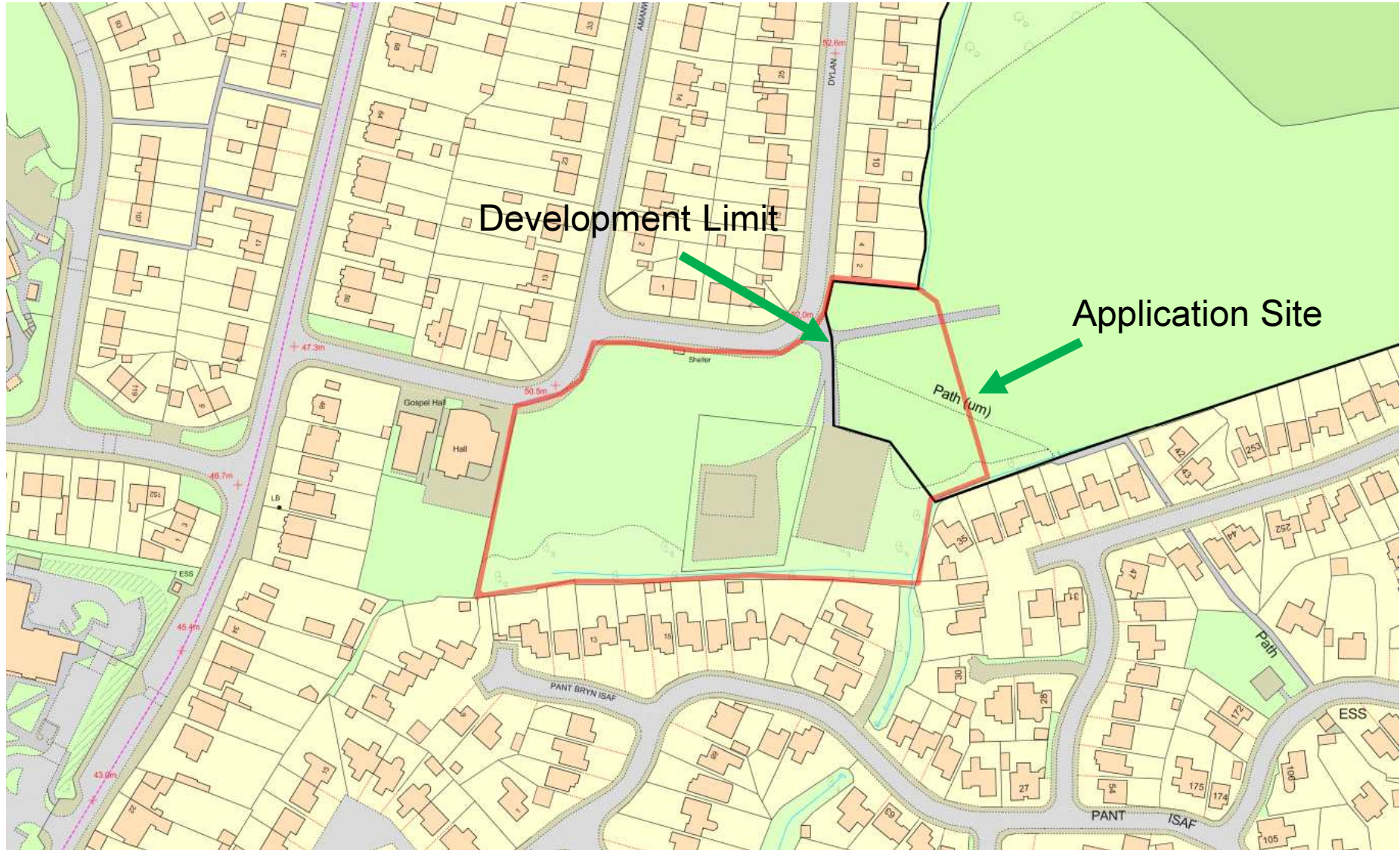


PROPOSED GROUND FLOOR PLAN TYPE A
Scale 1:50

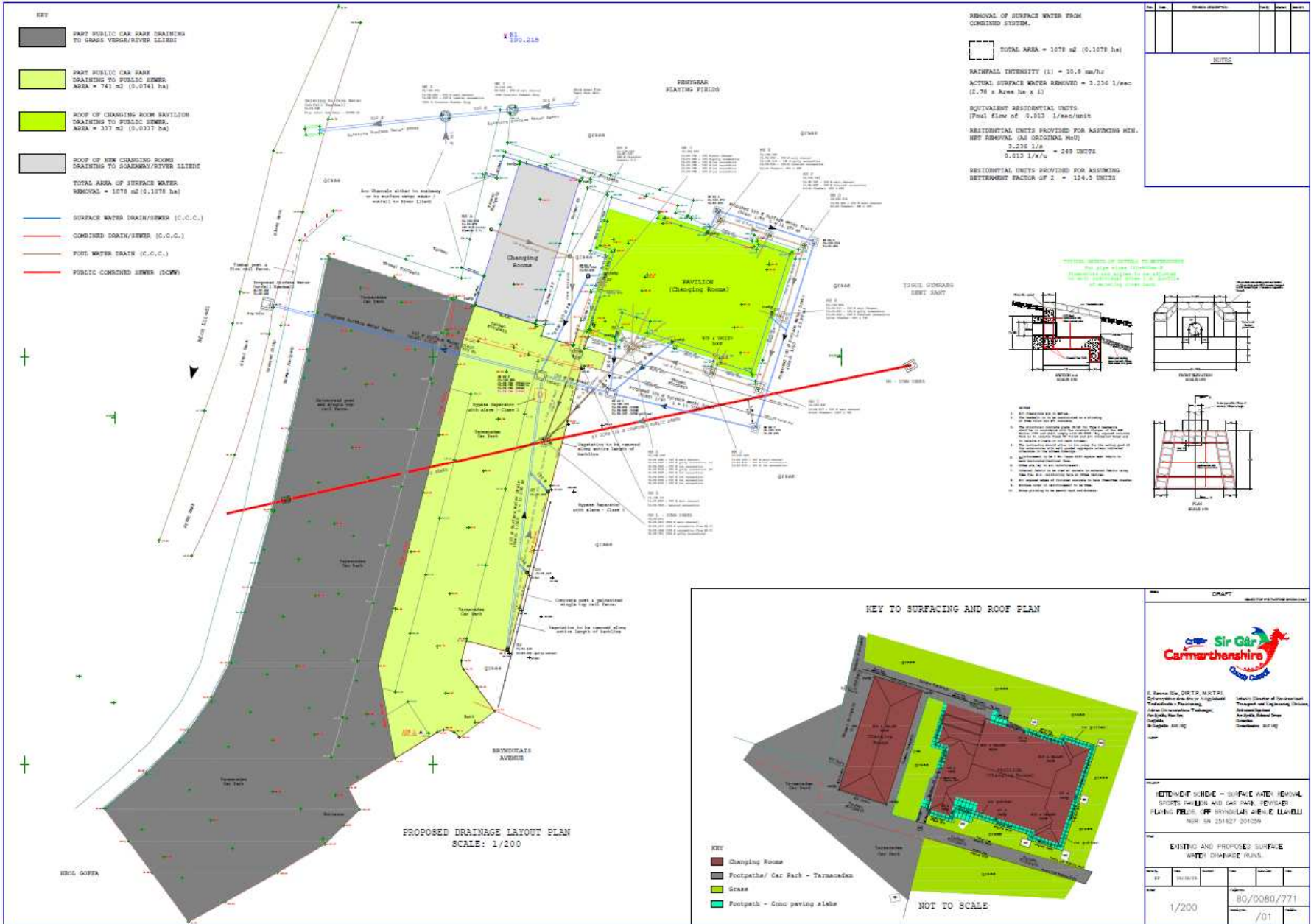
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Tudalen 73

Tudalen 74

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Tudalen 76

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Tudalen 77

Tudalen 78

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Tudalen 81

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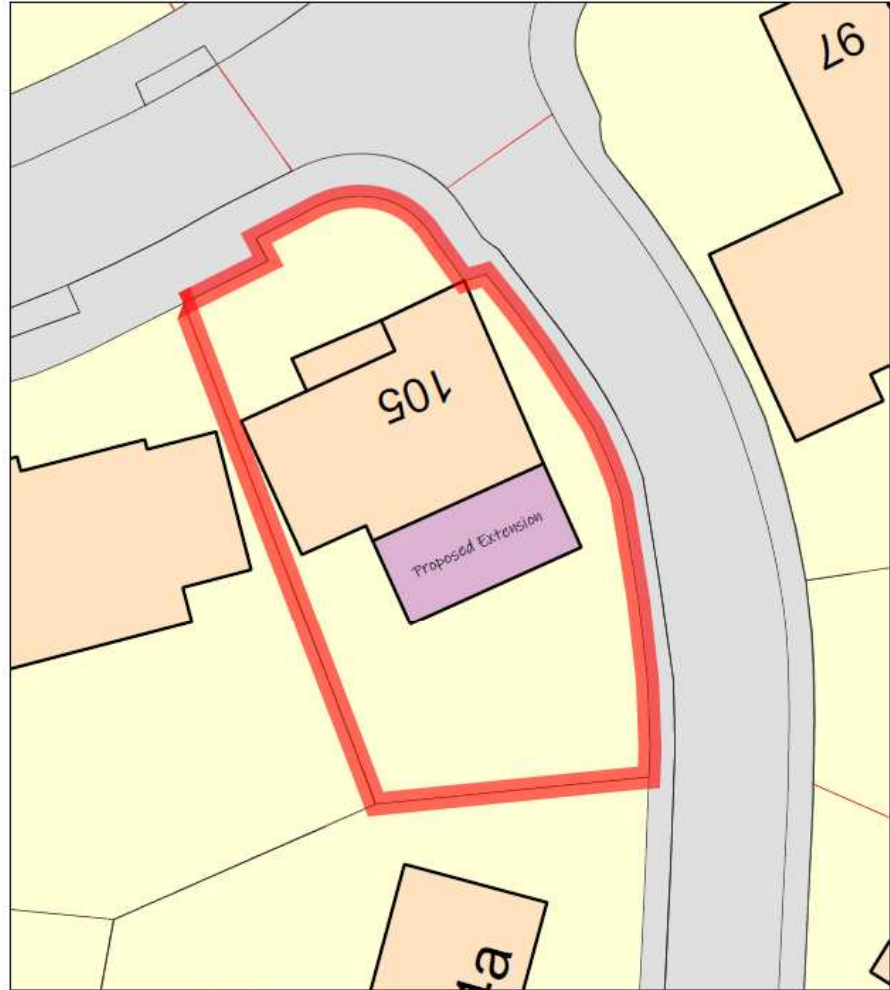
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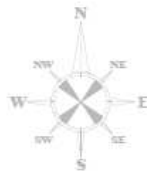
Site Location Plan at 1:1250



Existing Site Block Plan at 1:500



Proposed Site Block Plan at 1:200

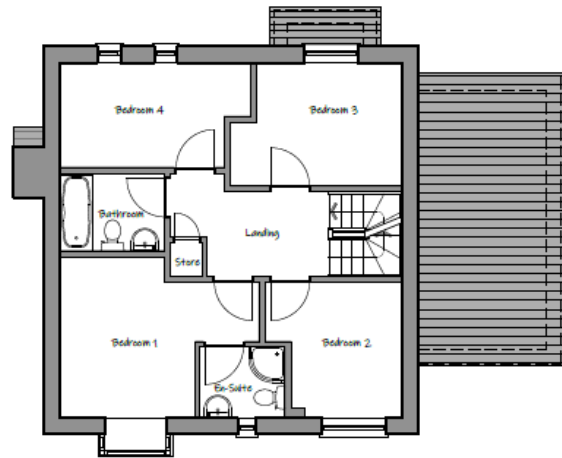


Notes	REVISIONS		Client
	Rev.	Comment	
THIS DRAWING MUST NOT BE SCALED AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANTS' DRAWINGS. IF IN DOUBT ASK FOR CONFIRMATION. DRAWINGS FOR PLANNING PURPOSES ONLY.			Client: Mathew Williams
			Project Title: Single Storey Extension
			Project Address: 105 Pentre Nicklaus Village
			Project Address: Llanelli, Carmarthenshire, SA15 2DF
			Drawing Title: Site Plans
		Date: 12.10.16	Name: Ais Skelton
		Drawing No: 001	A3

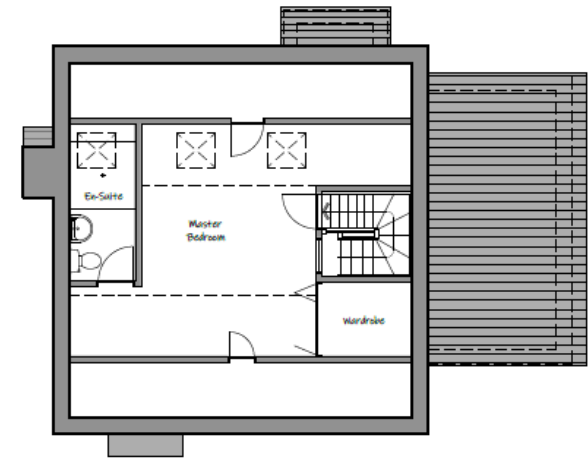
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Ground Floor Plan



First Floor Plan



Second Floor Plan

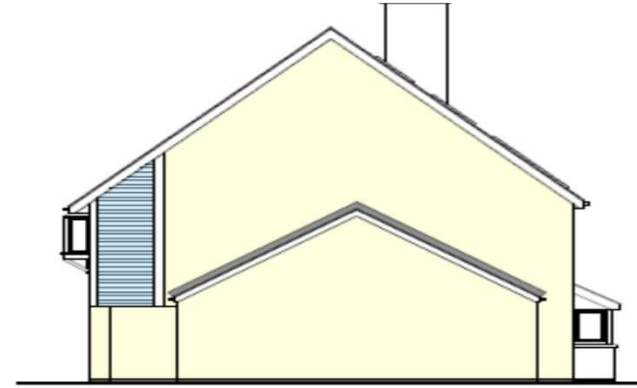
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	No. Comment	Date
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		Project Title: Single Storey Extension
		Project Address 1: 105 Pentre Nicklaus Village
		Project Address 2: Llanelli, Carmarthenshire. SA15 2DF
		Drawing Title: Existing Plans
	Date: 03.10.18	Scale: 1:100
	Drawing No: 101	A3 Rev -

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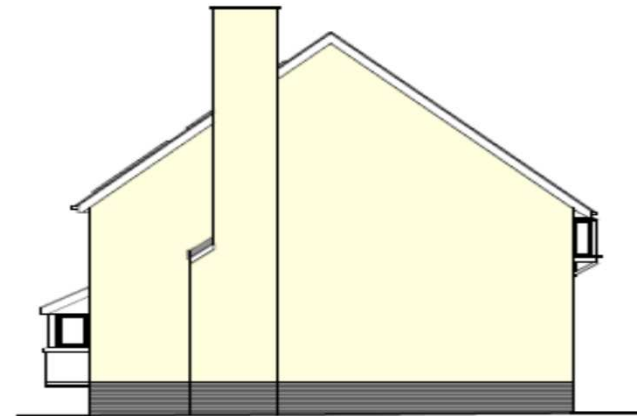
Front Elevation



Side Elevation



Rear Elevation



Side Elevation

Notes	REVISIONS	Client	Mathew Williams
THIS DRAWING MUST NOT BE SCALED AND SHOULD BE DRAWN IN CONJUNCTION WITH ALL OTHER CONSULTANT'S DRAWINGS. IN ANY DOUBT, ASK FOR CONFIRMATION. DRAWINGS FOR PLANNING PURPOSES ONLY.		Project Name	Single Storey Extension
		Project Address	105 Pantre Nicklars Village
		Project Location	Llanelli, Carmarthenshire, SA15 2DF
		Drawing Title	Existing Elevations
		Date: 03-10-16	Scale: 1/100
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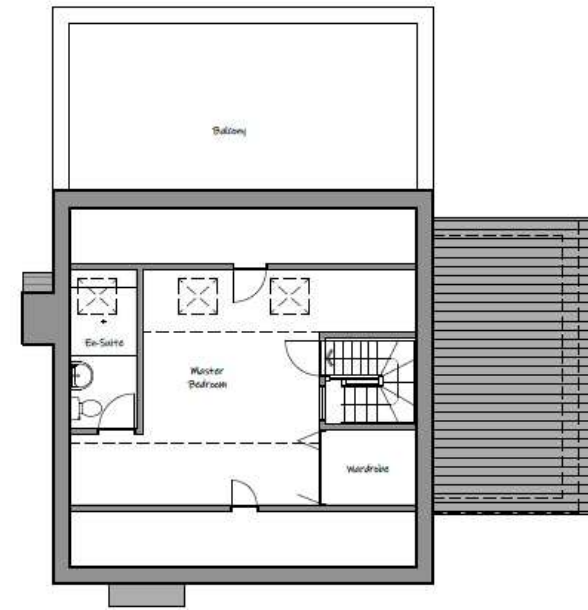
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Ground Floor Plan



First Floor Plan



Second Floor Plan

Tudalen 91

Notes	REVISIONS		Date	Client	Name
	No.	Comment			
THIS DRAWING MUST NOT BE SCALED AND SHOULD BE READ IN CONJUNCTION WITH ALL OTHER CONSULTANT'S DRAWINGS. IF IN DOUBT ASK FOR CONFIRMATION. DRAWING FOR PLANNING PURPOSES ONLY.				Mathew Williams	
				Project Title: Single Storey Extension	
				Project Address 1: 105 Pentre Nicklaus Village	
				Project Address 2: Llanelli, Carmarthenshire, SA15 2DF	
				Drawing Title: Proposed Plans	
				Date: 03.10.18	Scale: 1:100
				Drawing No: 102	A3
					Rev: A

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Tudalen 95

Tudalen 96

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Tudalen 97

Tudalen 98

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Tudalen 99

Tudalen 100

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Tudalen 101

Tudalen 102

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Tudalen 103

Tudalen 104

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Tudalen 106

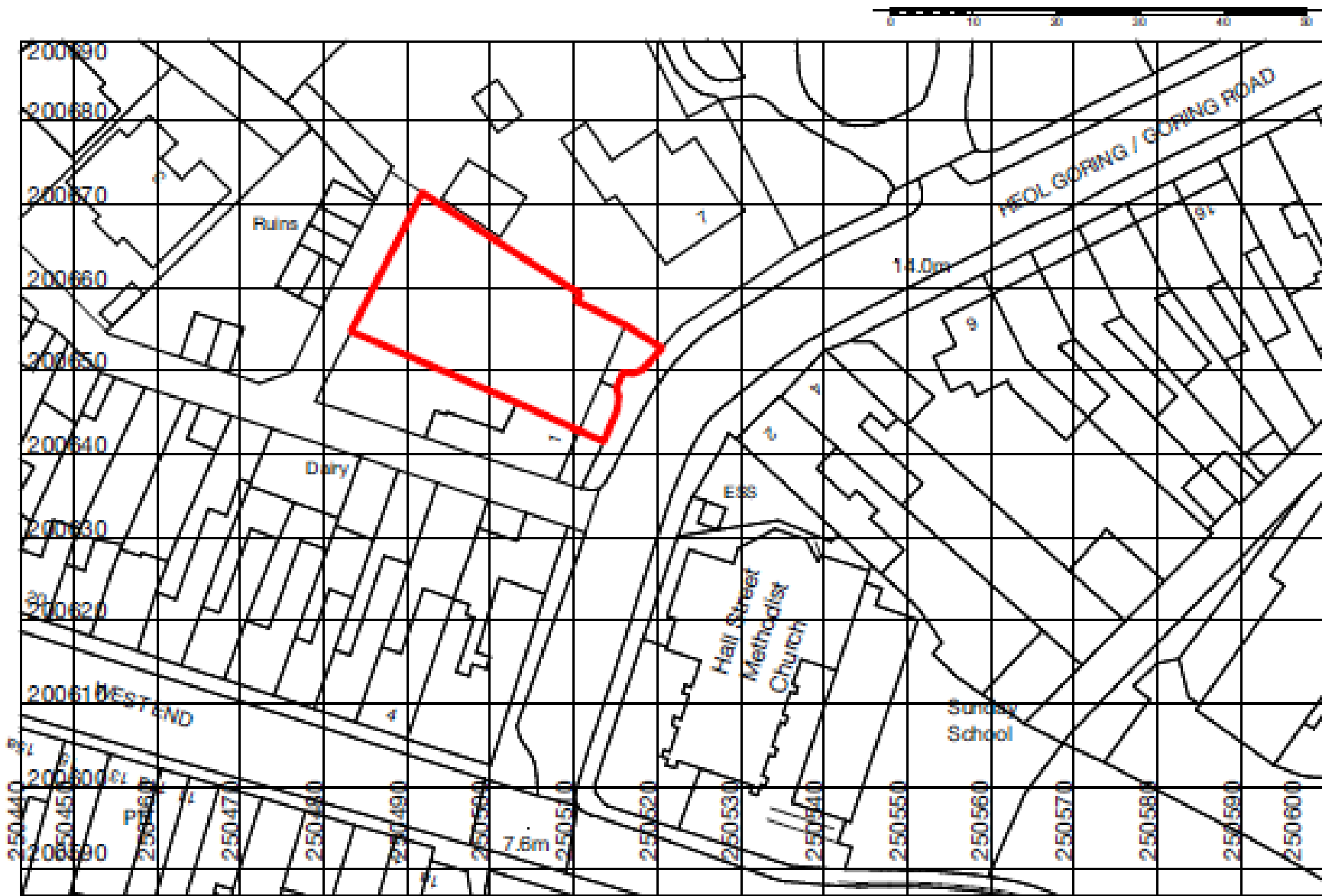
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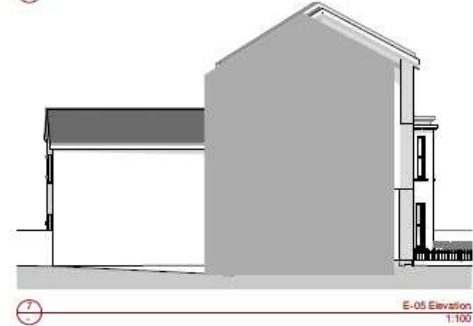
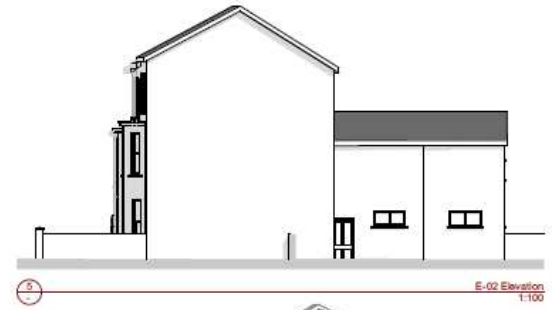
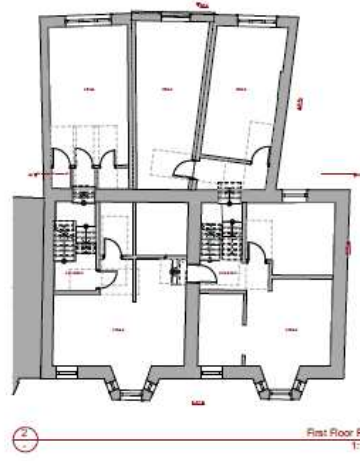
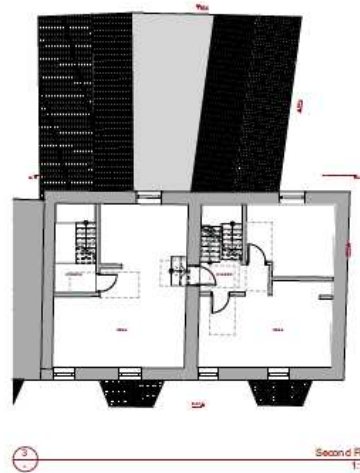
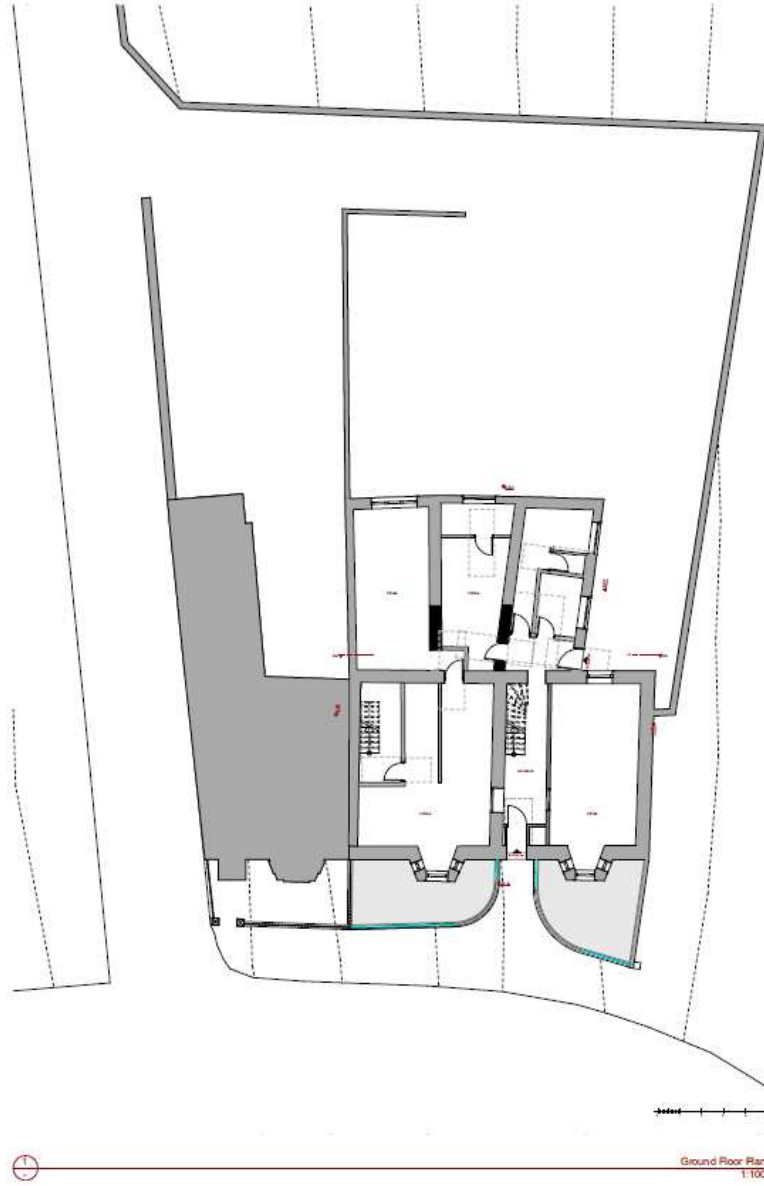


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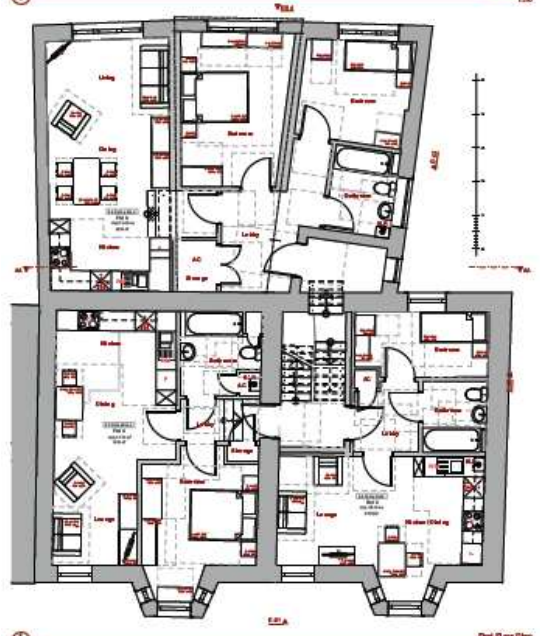
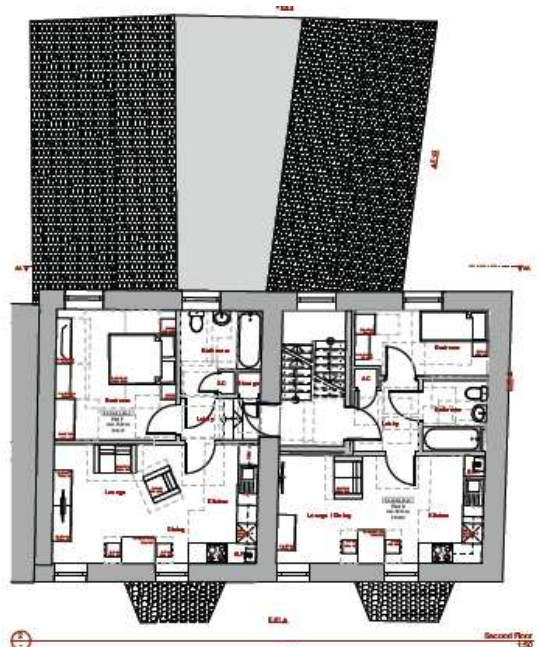


North arrow pointing North (N).

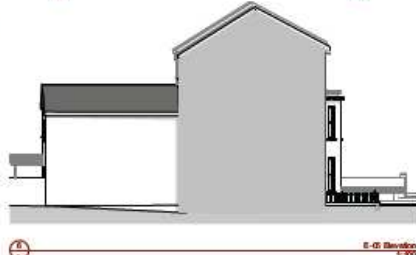
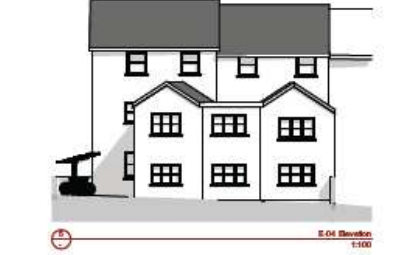
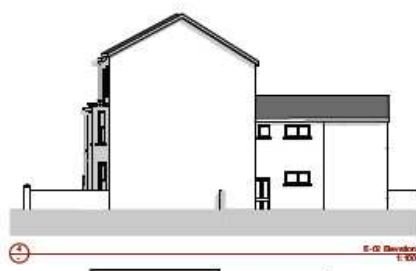
Scale bar: 0, 2, 4, 6, 8, 10 meters.

denis hellyar Architects
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S/37971

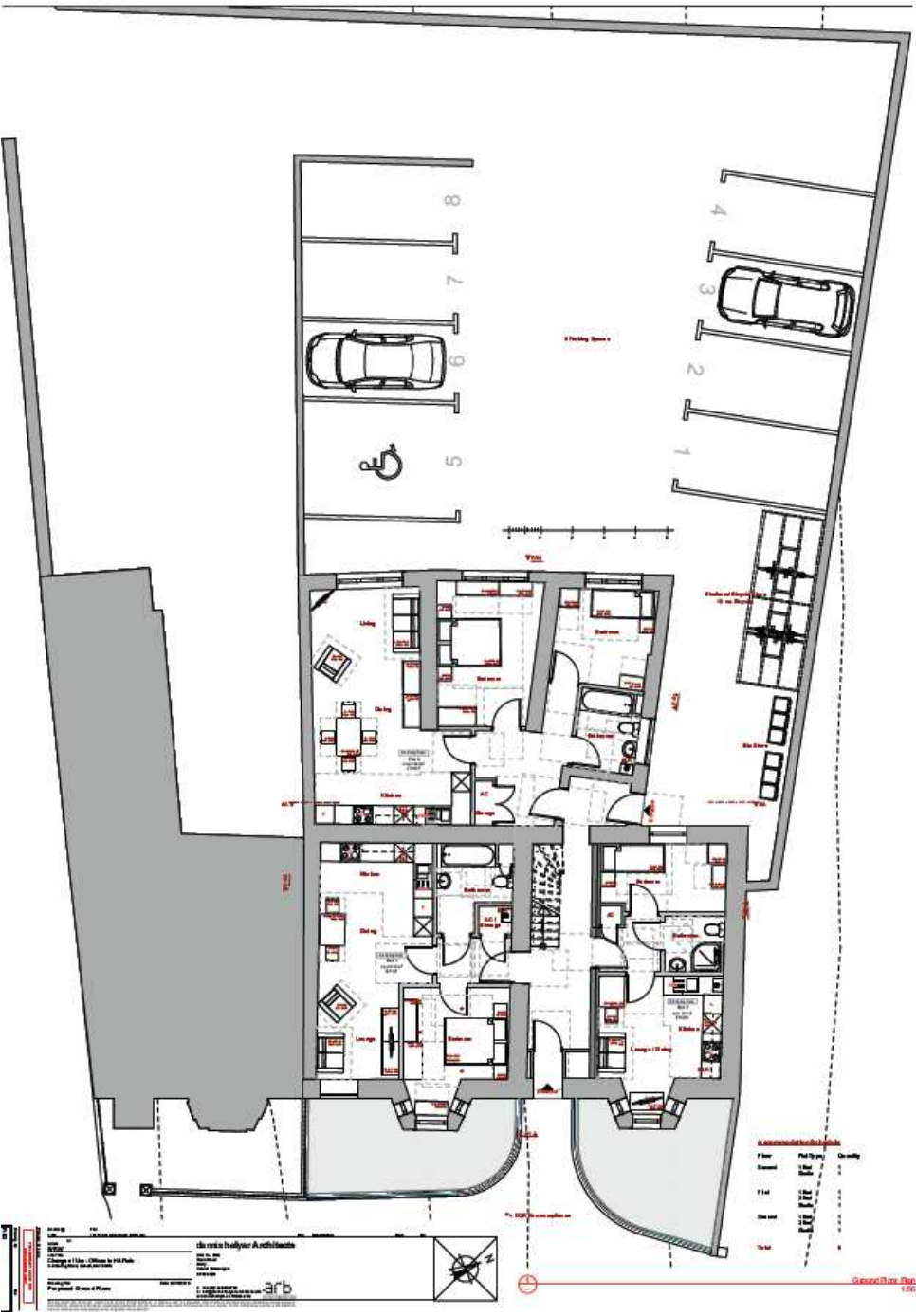


<p>Project Information</p> <p>Client: [Name]</p> <p>Address: [Address]</p> <p>Project Name: [Name]</p>		
<p>Architectural Details</p> <p>Scale: 1:50</p> <p>Date: [Date]</p> <p>Drawn by: [Name]</p> <p>Checked by: [Name]</p>		



<p>Legend</p> <p>Symbol 1: [Description]</p> <p>Symbol 2: [Description]</p> <p>Symbol 3: [Description]</p>	
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S/37971



Tudalen 111

Tudalen 112

S/37971



S/37971



Tudalen 113

Tudalen 114

S/37971



S/37971



Tudalen 115

S/37971



S/37971



Tudalen 117

Tudalen 118

S/37971



S/37971



Tudalen 119

Tudalen 120

S/37971



*Ardal
Gorllewin/
Area West*

**ADRODDIAD PENNAETH
CYNLLUNIO,
CYFARWYDDIAETH YR AMGYLCHEDD**

**REPORT OF THE
HEAD OF PLANNING,
DIRECTORATE OF ENVIRONMENT**

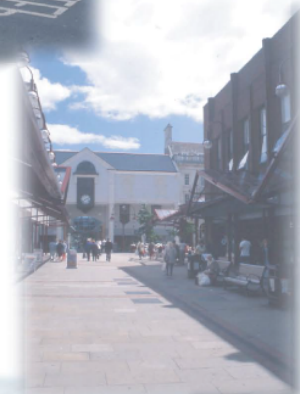
**AR GYFER PWYLLGOR CYNLLUNIO
CYNGOR SIR CAERFYRDDIN/**

**TO CARMARTHENSHIRE COUNTY
COUNCIL'S PLANNING COMMITTEE**

**AR 13 RHAGFYR 2018
ON 13 DECEMBER 2018**

**I'W BENDERFYNU/
FOR DECISION**

**ATODIAD
ADDENDUM**



ADDENDUM – Area West

<i>Application Number</i>	W/37655
<i>Proposal & Location</i>	CHANGE OF USE OF FARM-LAND TO, TWO, GYPSY TRAVELLER PITCHES (WITH DAYROOMS) AT LAND LYING SOUTH OF, BRYNHOWELL, LLANDDOWROR, SA33 4HN

DETAILS:

ADDITIONAL INFORMATION

Further information has been received from the applicant regarding the occupation of the two pitches.

Given economies of scale, the second pitch is proposed in order to future proof the site for the applicant's children to have accommodation in the future. The cost of forming the second pitch and day room is less if provided at the same time. Whilst not intended to be used by the applicant's father who is self-sufficient in Kilgetty, there is also the potential for it to be used if there is a change in circumstances and the father needs care in the interim period when the children are too young to occupy the unit. The applicant has stated that the second pitch will not be used for non-family members and will not become a commercial mobile home site which has different regulations.

An additional cross section and revised landscape plan has been provided which confirms that the site is not likely to be a prominent feature in the landscape. These plans need to be added to Condition 2.

UPDATED NATIONAL PLANNING POLICY

Planning Policy Wales Edition 10 December 2018 has been published since the drafting of this report.

The new document has been re-formatted to reflect contents of the Well-Being of Future Generations (Wales) Act 2015, with an emphasis on well-being through place making.

In respect of the proposal, Section 4.2.35 refers to Gypsy and Traveller provision. This requires Local Authorities to assess and make provision for Gypsies and Travellers at a strategic level. The applicant has provided information from the Pembrokeshire and Carmarthenshire assessments which shows that there is a shortfall in provision. As stated in the main report, there is no scope for expansion of the applicant's pitch at Kilgetty and the applicant is not eligible for one of the new pitches that will be provided in the near future as they are already over subscribed for people who are on the waiting list.

The national policy does not offer specific advice on individual proposals for sites. Specific Gypsy and Traveller advice is provided in the newly published Circular 005/2018 and Guidance documents. As stated in the main report "National policy advice relating to gypsy and traveller caravan sites is set out in Welsh Government Circular 005/2018. There are also accompanying documents namely the documents Enabling Gypsies, Roma and Travellers (June 2018) and Managing Gypsy and Traveller Sites in Wales 2015."

ADDENDUM – Area West

<i>Application Number</i>	W/38027
<i>Proposal & Location</i>	CHANGE OF USE OF EXISTING BARN INTO HOLIDAY LET ACCOMMODATION AT PARCNWC, OLD SCHOOL ROAD, LLANSTEFFAN, CARMARTHEN, SA33 5HA

DETAILS:

APPRAISAL

Members should be aware that the Planning Policy section of the original report provides an outline of the policy objectives of national planning policy as set out in Planning Policy Wales (PPW) (Edition 9, November 2016). Since publishing the report, this policy document has been superseded and replaced by a new version, namely Planning Policy Wales (Edition 10, December 2018).

Similar to the previous version, the document highlights the importance of tourism in that it is vital to economic prosperity and job creation in many parts of Wales and can be a catalyst for regeneration and the improvement of the built environment.

In addition, the applicant has provided an amended elevational drawing which corrects an error in the original drawing while the Authority's Planning Ecologist has recommended the imposition of a further planning condition on any permission granted. In light of the submission of this plan and the Ecologists advice, condition no. 2 contained in the main report is to be amended as follows and an additional condition (condition no. 8) added to the permission granted.

The recommendation to approve therefore remains unchanged.

CONDITIONS

- 2 The works hereby granted consent shall be carried out strictly in accordance with the details shown on the following schedule of plans and information:-
 - Site location plan (LP-01) received on 25 August 2018;
 - Existing floor plans and elevations (01) received on 10 December 2018;
 - Proposed floor plans and elevations (06.B) received on 1 November 2018;
 - Site block plan (02B) received on 1 November 2018;
 - Bat survey report prepared by I & G Ecological Consulting received on 25 August 2018;
 - Structural Appraisal Report prepared by MW Consulting dated 16 August 2018 and received on 25 August 2018.

- 8 Prior to the commencement of the development , a scheme of swallow nesting mitigation for the development shall be submitted to and approved in writing by the local planning authority. The scheme shall be implemented in accordance with the approved details.

REASONS

- 2 In the interest of clarity as to the extent of the permission.
- 8 In order to secure ecological mitigation as part of the development.

ADDENDUM – Area West

<i>Application Number</i>	W/37267
<i>Proposal & Location</i>	ERECTION OF 2.NO 3 BED DWELLINGS (1 AFFORDABLE, 1 OPEN MARKET) AT LAND ADJACENT TO LLYS BRIALLU, SARNAU, BANCYFELIN, SA33 5EA

DETAILS:

PLANNING POLICY

Since the publishing of the report, Welsh Government has released the 10th version of Planning Policy Wales. Therefore any reference to Planning Policy Wales in the report needs to be superseded with the latest version as follows:-

Planning Policy Wales (10th Edition) December 2018 (PPW)

APPRAISAL

The key considerations of relevance to this case are whether the proposal complies with the requirements of Planning Policy Wales (PPW) (10th edition) and Technical Advice Note 6: Planning for Sustainable Rural Communities (TAN6), in terms of dwellings in open countryside, outside the defined development limits of any recognized settlements and its impact upon the character and appearance of the area.

In terms of PPW new houses in the countryside, away from existing settlements or from areas allocated for development must be strictly controlled in order to safeguard the character and appearance of the countryside, to reduce the need to travel by car and to economise on the provision of services. Specifically paragraph 3.56 states:

“Development in the countryside should be located within and adjoining those settlements where it can best be accommodated in terms of infrastructure, access, habitat and landscape conservation. Infilling or minor extensions to existing settlements may be acceptable, in particular where they meet a local need for affordable housing or it can be demonstrated that the proposal will increase local economic activity. However, new building in the open countryside away from existing settlements or areas allocated for development in development plans must continue to be strictly controlled. All new development should be of a scale and design that respects the character of the surrounding area.”

Furthermore, paragraph 4.2.24 of PPW also discusses that new housing in the open countryside should be strictly controlled and under what exceptional circumstances rural dwellings may be considered. It states:

“In the open countryside, away from established settlements recognised in development plans or away from other areas allocated for development, the fact that a single house on a particular site would be unobtrusive is not, by itself, a good argument in favour of permission; such permissions could be granted too often, to the overall detriment of the character of an area.”

Furthermore, the publishing of PPW (10th Edition) needs to be reflected in the reasons for refusal in the recommendation, specifically for reasons 1 and 2 of the report.

REASONS

- 1 The proposal is contrary to paragraph 3.56 of Planning Policy Wales (Edition 10, December 2018) which states:-

Development in the countryside should be located within and adjoining those settlements where it can best be accommodated in terms of infrastructure, access, habitat and landscape conservation. Infilling or minor extensions to existing settlements may be acceptable, in particular where they meet a local need for affordable housing or it can be demonstrated that the proposal will increase local economic activity. However, new building in the open countryside away from existing settlements or areas allocated for development in development plans must continue to be strictly controlled. All new development should be of a scale and design that respects the character of the surrounding area.

In that the development site is located outside the defined settlement limits of any recognised settlement where new house building should be strictly controlled. Insufficient justification has been provided to support the case for an affordable dwelling and an open market dwelling in such a location. Therefore, the proposal would represent a sporadic unjustified form of development in the open countryside to the detriment of the character and appearance of the area and will perpetuate existing ribbon development.

- 2 The proposal is contrary to paragraph 4.2.24 of Planning Policy Wales (10th edition, December 2018) which states:-

In the open countryside, away from established settlements recognised in development plans or away from other areas allocated for development, the fact that a single house on a particular site would be unobtrusive is not, by itself, a good argument in favour of permission; such permissions could be granted too often, to the overall detriment of the character of an area.

In that the development site is not located within a recognised settlement and therefore in the open countryside where new house building should be strictly controlled. Insufficient justification has been provided to support the case for an affordable dwelling and an open market dwelling in such a location. Therefore, the proposal would represent a sporadic unjustified form of development in the open countryside to the detriment of the character and appearance of the area.



***Y PWYLLGOR
CYNLLUNIO***

**PLANNING
COMMITTEE**

13 RHAGFYR 2018

13 DECEMBER 2018

***RHANBARTH Y
GORLLEWIN***

**AREA
WEST**

***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU CYMERADWYO***

**APPLICATIONS RECOMMENDED
FOR APPROVAL**



W/37655

Tudalen 130

W/37655

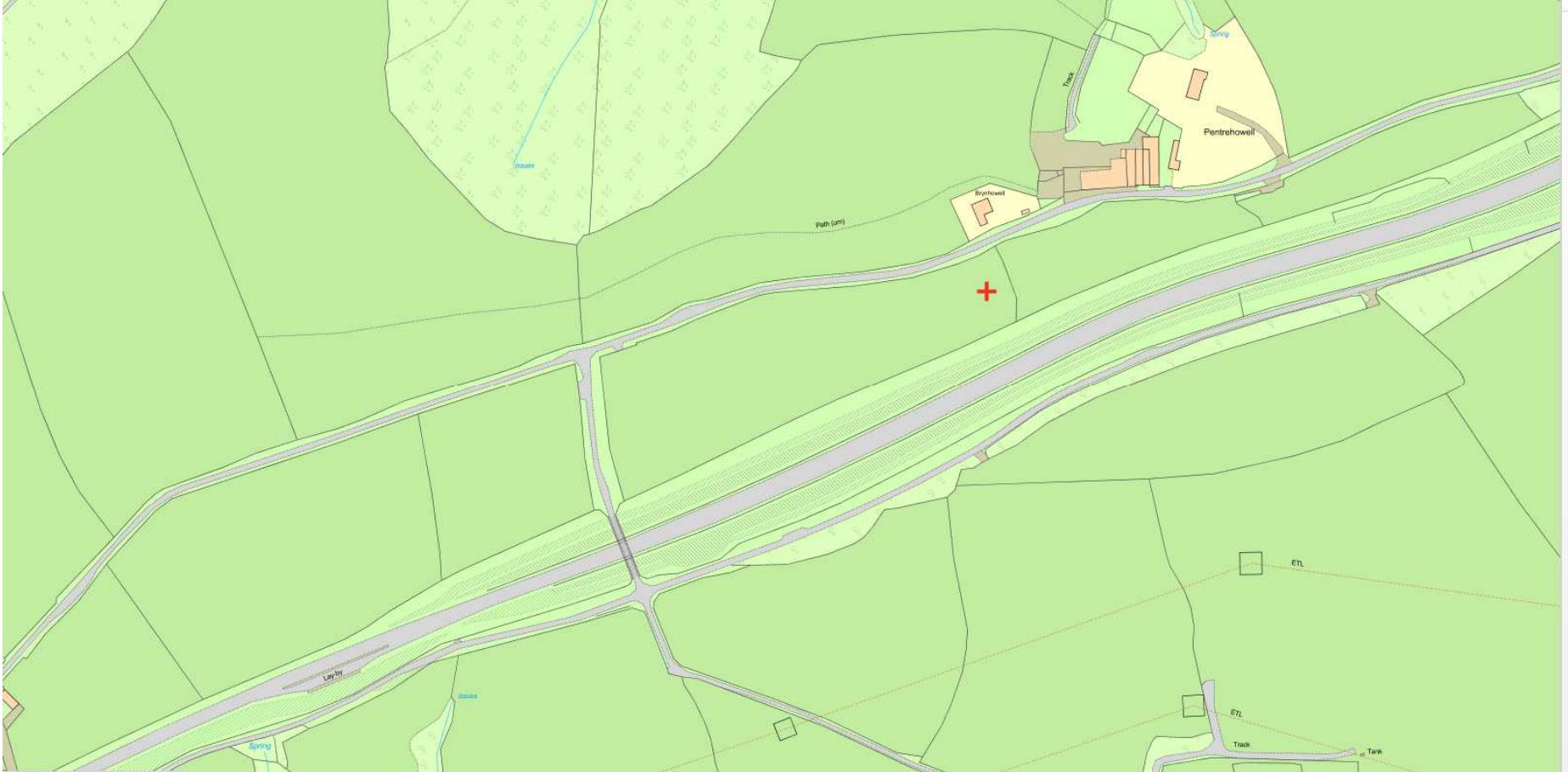


W/37655



Tudalen 131

W/37655



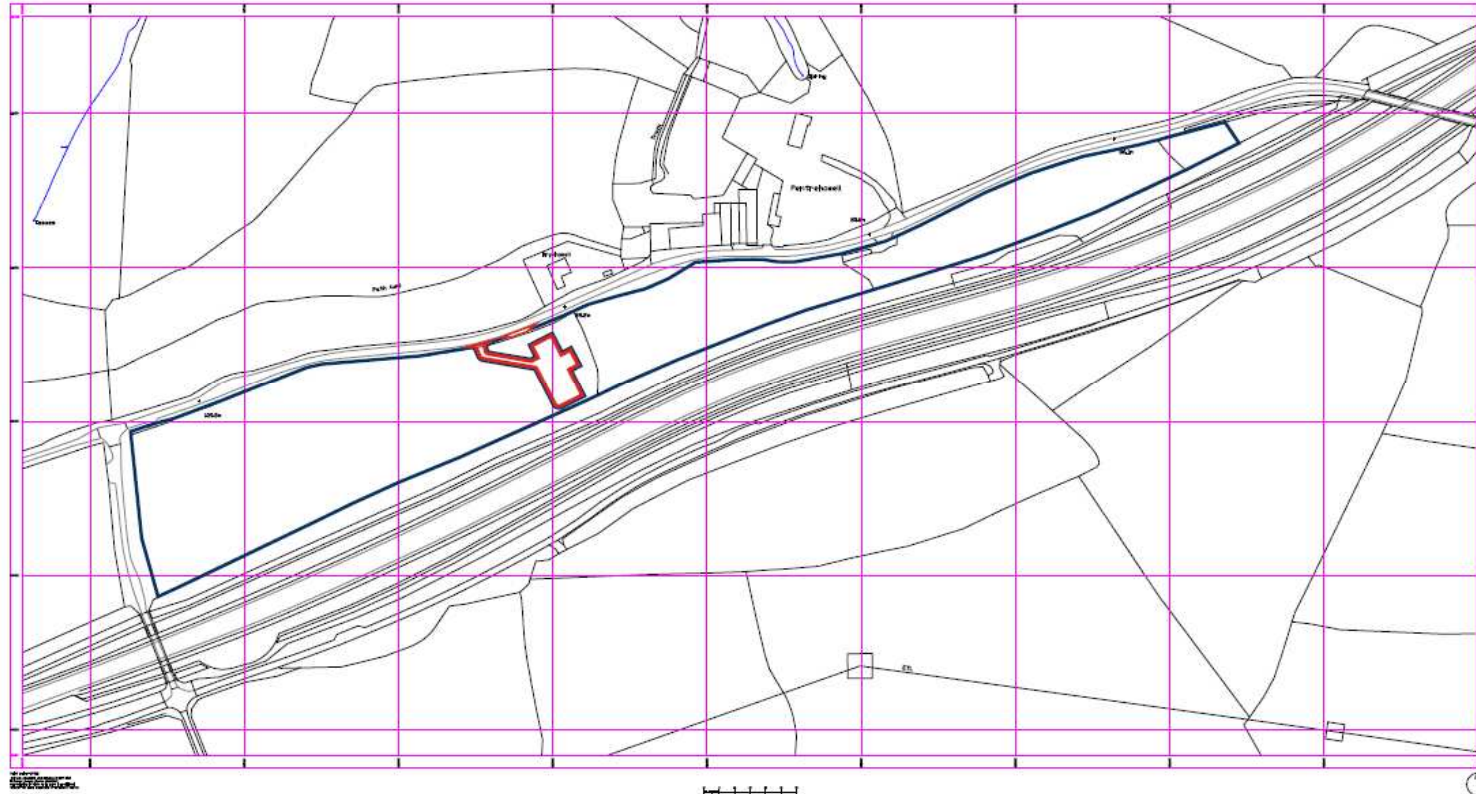
W/37655

Site Plan (including wider lands under ownership of applicant)



www.atriarc.co.uk

Diagrams Group
02020210000



Plans for planning purposes only

These drawings are to be read in conjunction with the associated planning and Design and Access statement.

Chartered Engineer to provide all structural and engineering calculations prior to commencement of works.

Prior to any works commencing on site, the contractor is to check all levels and dimensions before work commences. Any discrepancies should be reported immediately to the consultants before proceeding.

TITLE Land lying to the south of
Brynhowell, Llandowrog,
Carmarthenshire, SA33 4HN

CLIENT	Mr T. Jones	DATE	Sept 2018
SCALE	1:2000 @A2	DWG NO	Site Plan

W/37655

Proposed Landscape plan (supplemental)



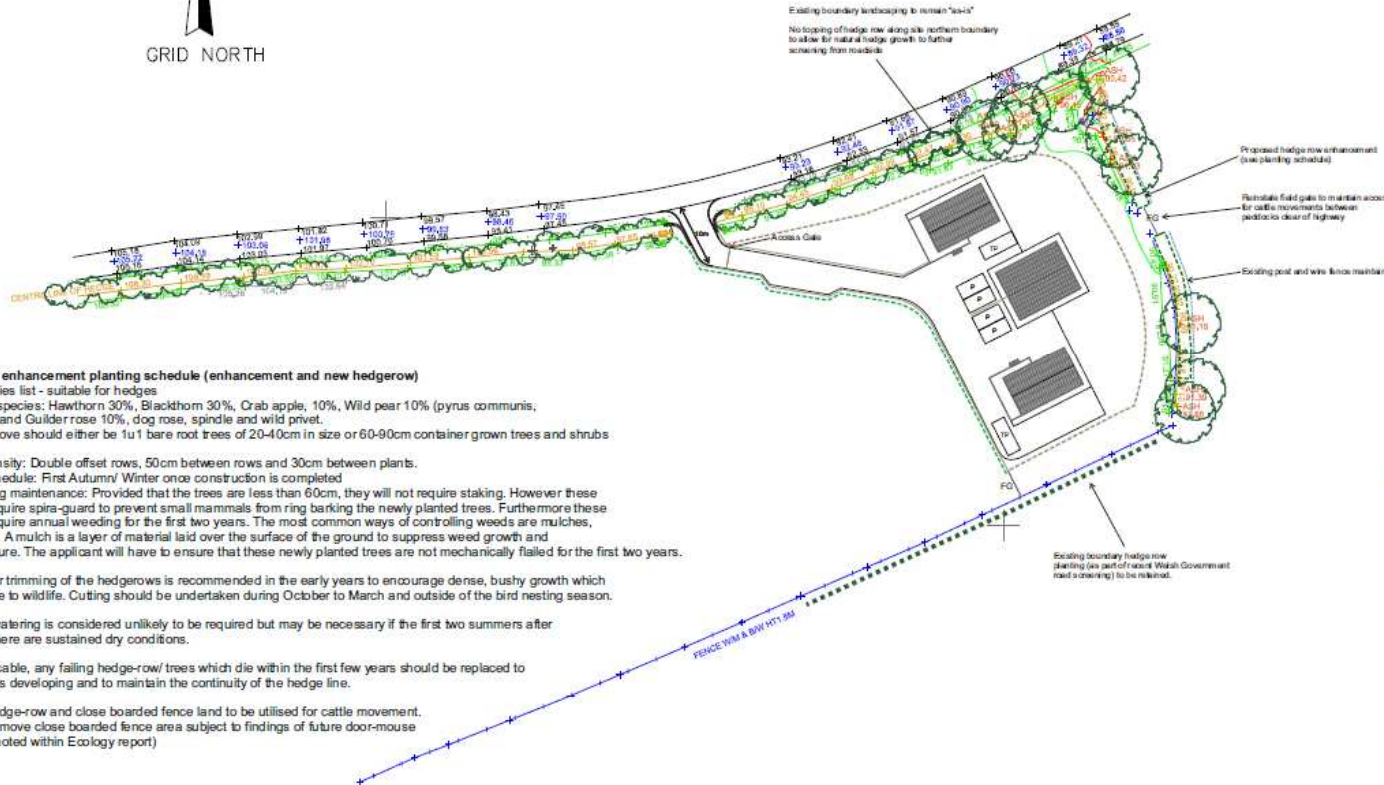
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Prior to any works commencing on site, the contractor is to check all levels and dimensions before work commences. Any discrepancies should be reported immediately to the consultants before proceeding.



Hedge-row enhancement planting schedule (enhancement and new hedgerow)

Native species list - suitable for hedges

Suggested species: Hawthorn 30%, Blackthorn 30%, Crab apple, 10%, Wild pear 10% (pyrus communis), rowan 10% and Guelder rose 10%, dog rose, spindle and wild privet.

All of the above should either be 1u1 bare root trees of 20-40cm in size or 60-90cm container grown trees and shrubs

Planting density: Double offset rows, 50cm between rows and 30cm between plants.

Planting schedule: First Autumn/ Winter once construction is completed

Post planting maintenance: Provided that the trees are less than 60cm, they will not require staking. However these trees will require spru-guard to prevent small mammals from ring barking the newly planted trees. Furthermore these trees will require annual weeding for the first two years. The most common ways of controlling weeds are mulches, and cutting. A mulch is a layer of material laid over the surface of the ground to suppress weed growth and retain moisture. The applicant will have to ensure that these newly planted trees are not mechanically flailed for the first two years.


Light regular trimming of the hedgerows is recommended in the early years to encourage dense, bushy growth which is favourable to wildlife. Cutting should be undertaken during October to March and outside of the bird nesting season.

Additional watering is considered unlikely to be required but may be necessary if the first two summers after planting if there are sustained dry conditions.

When applicable, any falling hedge-row/ trees which die within the first few years should be replaced to prevent gaps developing and to maintain the continuity of the hedge line.

Between hedge-row and close boarded fence land to be utilised for cattle movement. Option to remove close boarded fence area is subject to findings of future door-mouse survey (as noted within Ecology report)

Key

-  Close boarded fence (minimum 5m offset from hedge)
-  Hedge-row enhancement (see planting schedule within existing hedgerow)
-  New hedge-row (see planting schedule)
-  Field gate (15ft)

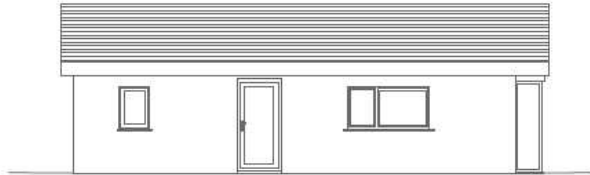
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CLIENT	Mr T. Jones	DATE	Dec 2018
SCALE	1:500 @ A2	DWG NO	Landscape F3

W/37655

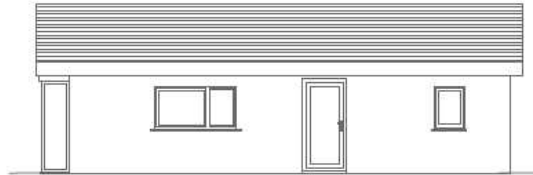
Proposed day room - incorporating, kitchen/ dining, bathroom and washroom, x2 adjoining units

NB This follows the design precedent of comparable applications for sites developed by Pembrokeshire Council

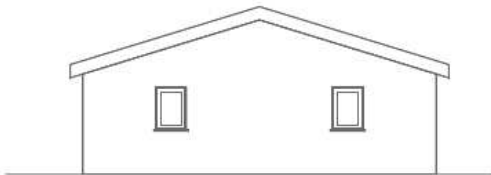
Proposed south-east facing elevation



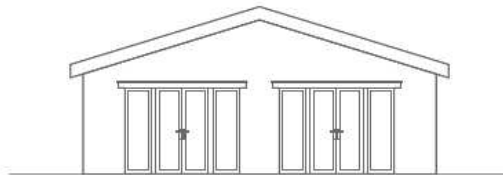
Proposed north-east facing elevation



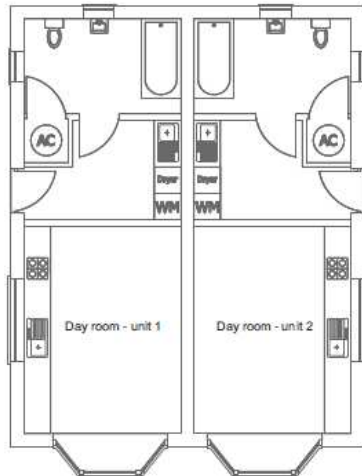
Proposed north-east facing elevation



Proposed south-west facing elevation



Day room layout plan



- Day room structure (generic detail)
- Sub-divided building (x2 day room units)
 - UPVC windows and doors
 - Composite cladding walls
 - Interlocking effect roofing tiles
 - UPVC fascias and barge boards
 - Design precedent follows recent developments undertaken by Pembrokeshire Council e.g. length, width, roof, form, layout and external elevations



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Plans for planning purposes only

These drawings are to be read in conjunction with the associated planning and Design and Access statement.

Chartered Engineer to provide all structural and engineering calculations prior to commencement of works.

Prior to any works commencing on site, the contractor is to check all levels and dimensions before work commences. Any discrepancies should be reported immediately to the consultants before proceeding.

TITLE Land lying to the south of
Brynhowell, Llandowror,
Carmarthenshire, SA33 4HN

CLIENT Mr T. Jones

DATE July 2018

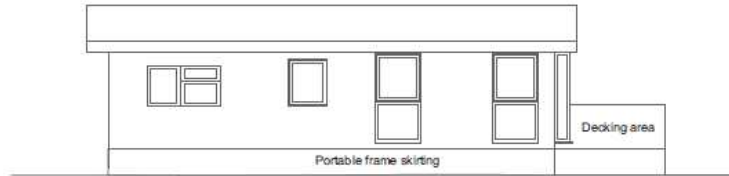
SCALE 1:100 @ A3

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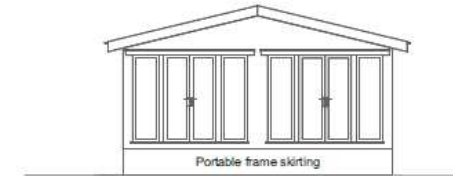
W/37655

Mr Jones proposed portable home (relocated to Llandowror site) - unit 1

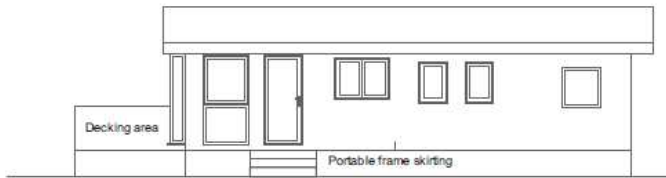
Proposed south-east facing elevation



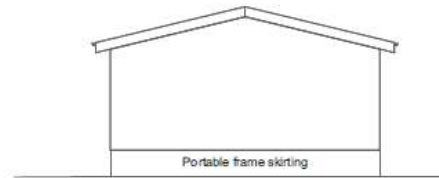
Proposed south-west facing elevation



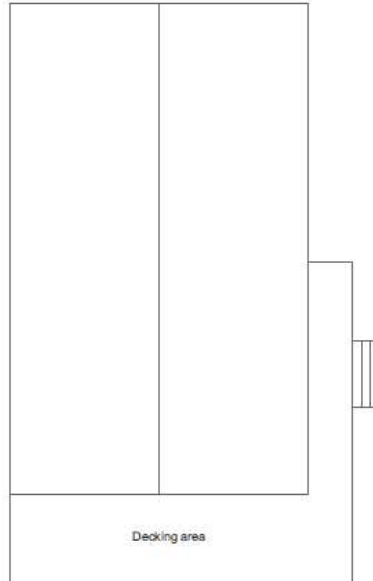
Proposed north-west facing elevation



Proposed north-east facing elevation



Existing/ proposed roof form



- Portable structure
- Constructed on portable access frame
 - Sub-dividable in two sections
 - UPVC windows and doors
 - Composite cladding walls
 - Interlocking composite effect roofing tiles



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Plans for planning purposes only

These drawings are to be read in conjunction with the associated planning and Design and Access statement.

Chartered Engineer to provide all structural and engineering calculations prior to commencement of works.

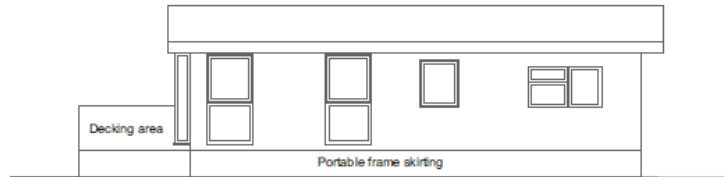
Prior to any works commencing on site, the contractor is to check all levels and dimensions before work commences. Any discrepancies should be reported immediately to the consultants before proceeding.

TITLE Land lying to the south of Brynhowell, Llandowror, Carmarthenshire, SA33 4HN	
CLIENT Mr T. Jones	DATE July 2018
SCALE 1:100 @ A3	DRS. NO 2a F

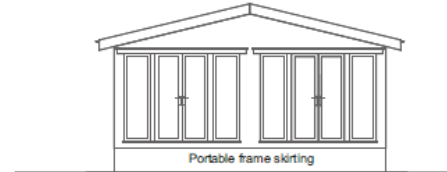
W/37655

Mr Jones proposed portable home (relocated to Llandowror site) - unit 2

Proposed south-east facing elevation



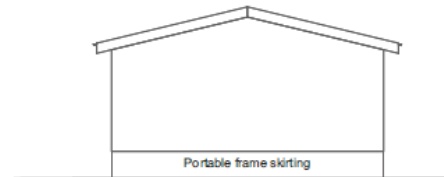
Proposed south-west facing elevation



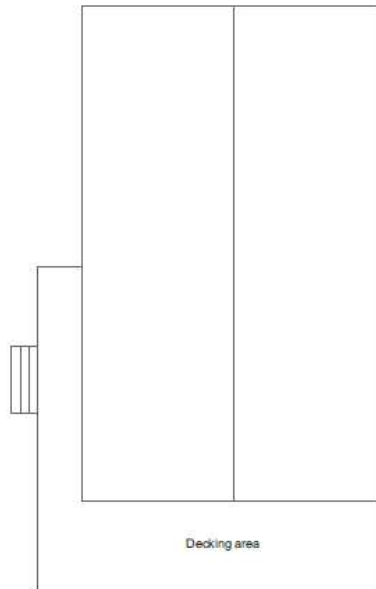
Proposed north-west facing elevation



Proposed north-east facing elevation



Proposed roof form



- Portable structure
- Constructed on portable access frame
 - Sub-dividable in two sections
 - UPVC windows and doors
 - Composite cladding walls
 - Interlocking effect roofing tiles



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Plans for planning purposes only

These drawings are to be read in conjunction with the associated planning and Design and Access statement.

Chartered Engineer to provide all structural and engineering calculations prior to commencement of works.

Prior to any works commencing on site, the contractor is to check all levels and dimensions before work commences. Any discrepancies should be reported immediately to the consultants before proceeding.

TITLE Land lying to the south of
Brynowell, Llandowror,
Carmarthenshire, SA33 4HN

CLIENT Mr T. Jones

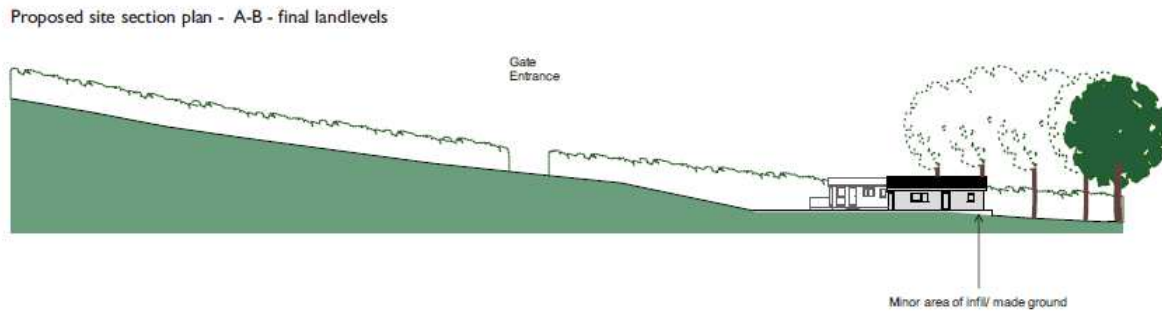
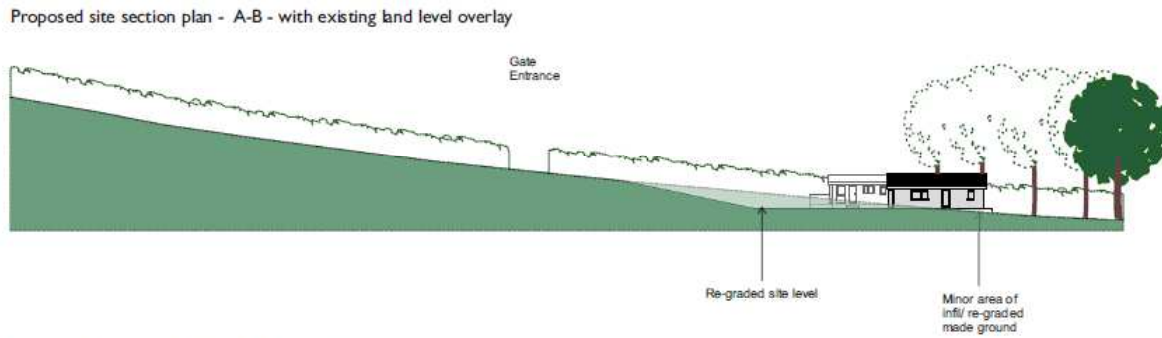
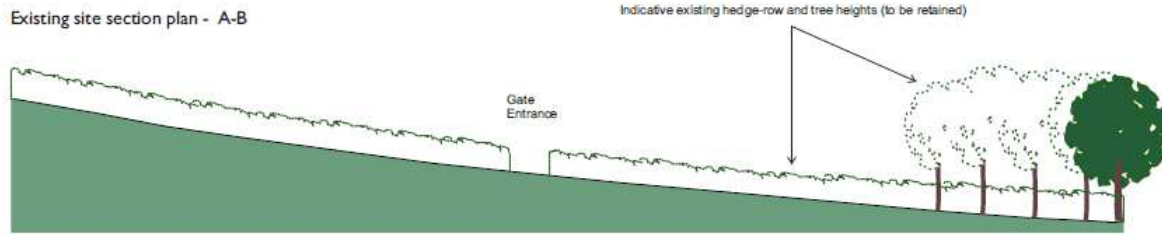
DATE July 2018

SCALE 1:100 @ A3

DRG. NO 2b F

W/37655

Site section plan - A-B
(see topographical survey plan)



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Prior to any works commencing on site, the contractor is to check all levels and dimensions before work commences. Any discrepancies should be reported immediately to the consultants before proceeding.

TITLE	Land lying to the south of Brynhowell, Llandowror, Carmarthenshire, SA33 4HN	
CLIENT	Mr T. Jones	DATE July 2018
SCALE	1:500 @ A3	DRG. NO 3d F

W/37655

Site access route options for bringing static caravans on to site
 - circa 17m width of road/ hard-stand on gate entrance way



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Prior to any works commencing on site, the contractor is to check all levels and dimensions before work commences. Any discrepancies should be reported immediately to the consultants before proceeding.



GRID NORTH

Access for static caravan delivery

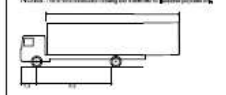
Site during A477 construction
 (note heavy construction access routes through site)



Site pre A477 construction
 (note gate access through fields)



Notes: This is a vehicle design not intended for motorway use.



FTA Design: Rigist Vehicle (1983)	50,000m
Overall Length	2,350m
Overall Width	3,350m
Overall Body Height	0,437m
Min Body Ground Clearance	2,350m
Track Width	4,000m
Lock to Lock Time	12,000m
Wash to Wash Laying Radius	

TITLE: Land lying to the south of Brynhowell, Llandowrog, Carmarthenshire, SA33 4HN	
CLIENT: Mr T. Jones	DATE: Sept 2018
SCALE: 1:1000 @ A2	DATE NO: Construction Access

W/37655

Proposed Passing Bay on C3230 (for comment)



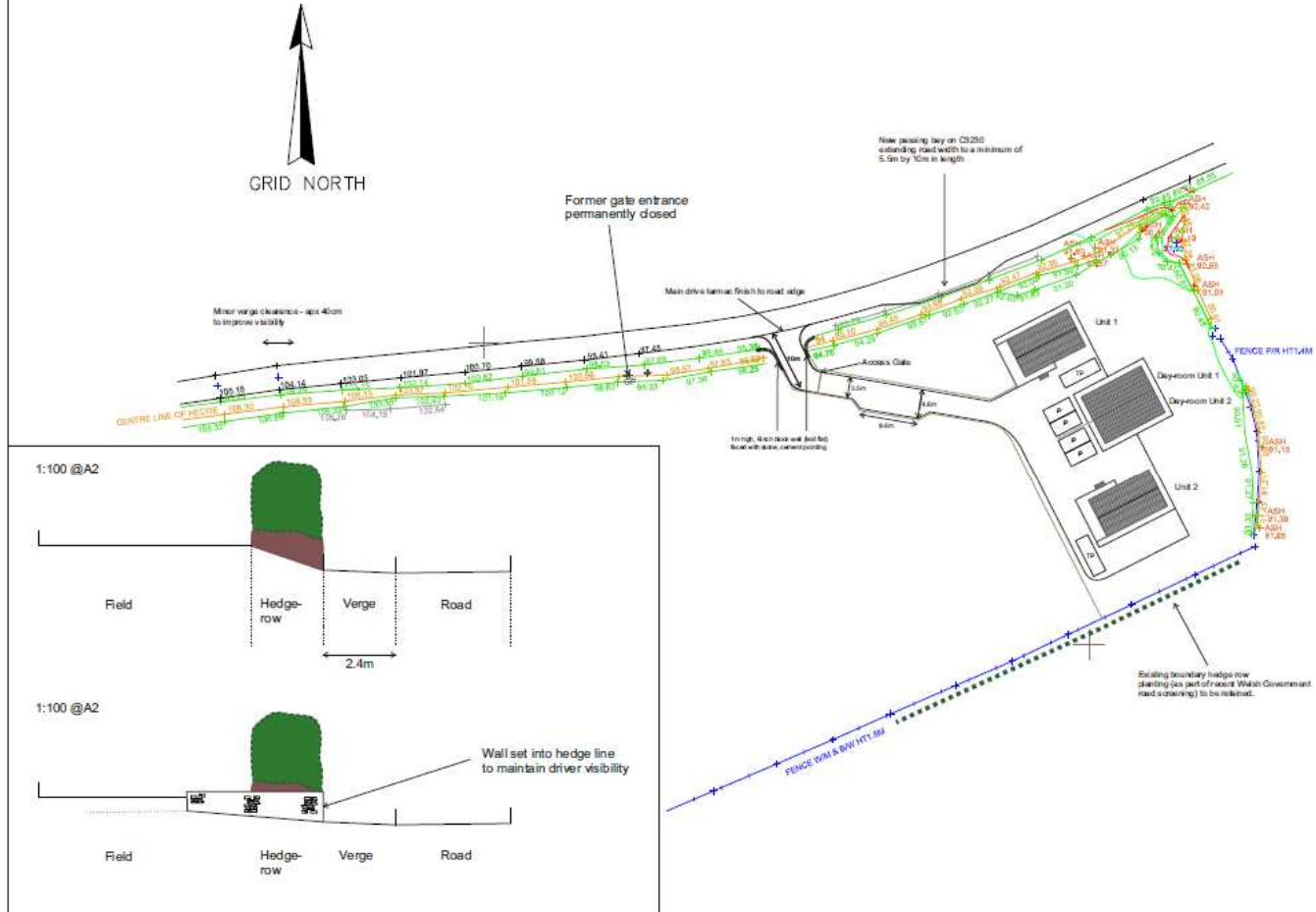
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Plans for planning purposes only

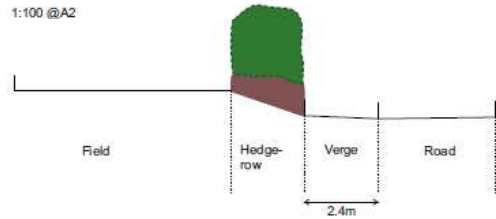
These drawings are to be read in conjunction with the associated planning and Design and Access statement.

Chartered Engineer to provide all structural and engineering calculations prior to commencement of works.

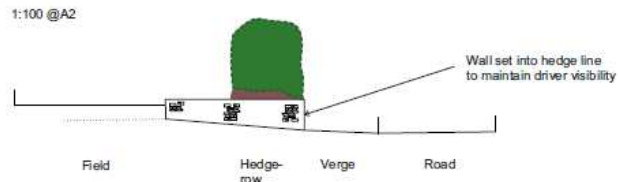
Prior to any works commencing on site, the contractor is to check all levels and dimensions before work commences. Any discrepancies should be reported immediately to the consultants before proceeding.



1:100 @A2



1:100 @A2



TITLE: Land lying to the south of Brynhowell, Llandowro c, Carmarthenshire, SA33 4HN	
CLIENT: Mr T. Jones	DATE: Nov 20 18
SCALE: 1:500 @ A2	DRG. NO: P63

W/37655

Site section plan - C-D



Notes

- Visibility lines are noted but there is no pedestrian access along this road
- Additional planting to eastern hedgerow to be part of planning application (see landscape plan)
- Further screening provided on maturation of existing planting (Welsh Government highway land) on site boundary to A477



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Chartered Engineer to provide all structural and engineering calculations prior to commencement of works.

Prior to any works commencing on site, the contractor is to check all levels and dimensions before work commences. Any discrepancies should be reported immediately to the consultants before proceeding.

TITLE Land lying to the south of
Brynhowell, Llandowror,
Carmarthenshire, SA33 4HN

CLIENT Mr T. Jones DATE Dec 2018

SCALE 1:500 @ A3 DRG. NO Section V2

W/37655



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Tudalen 143

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W/37655



Tudalen 145

W/37655



W/37655



Tudalen 147

Tudalen 148

W/37655



W/37655



Tudalen 149

Tudalen 150

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Tudalen 152

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Tudalen 153

W/37655



W/37655



Tudalen 155

Tudalen 156

W/37655



W/37655



W/37655



W/37655



Tudalen 159

Tudalen 160

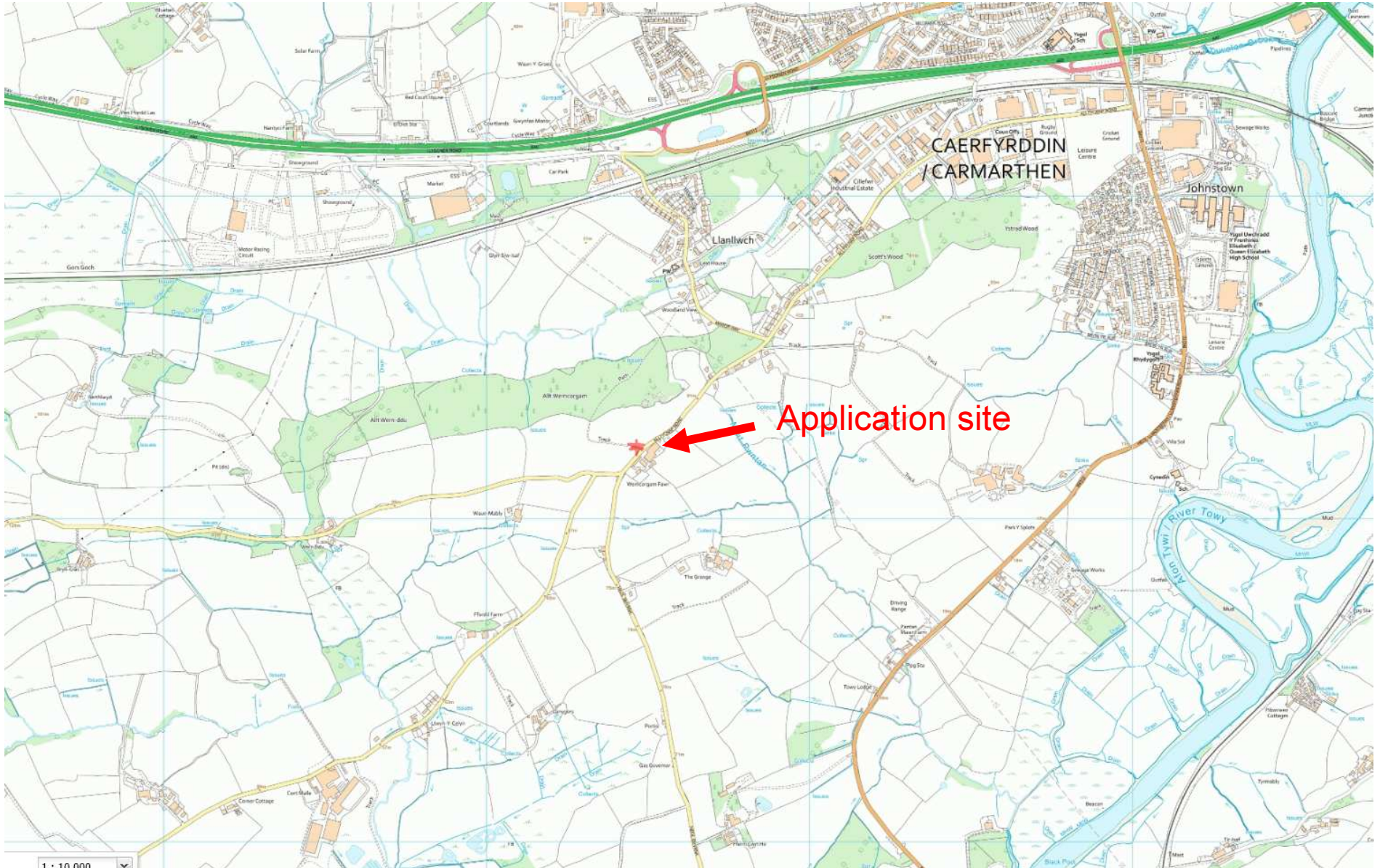
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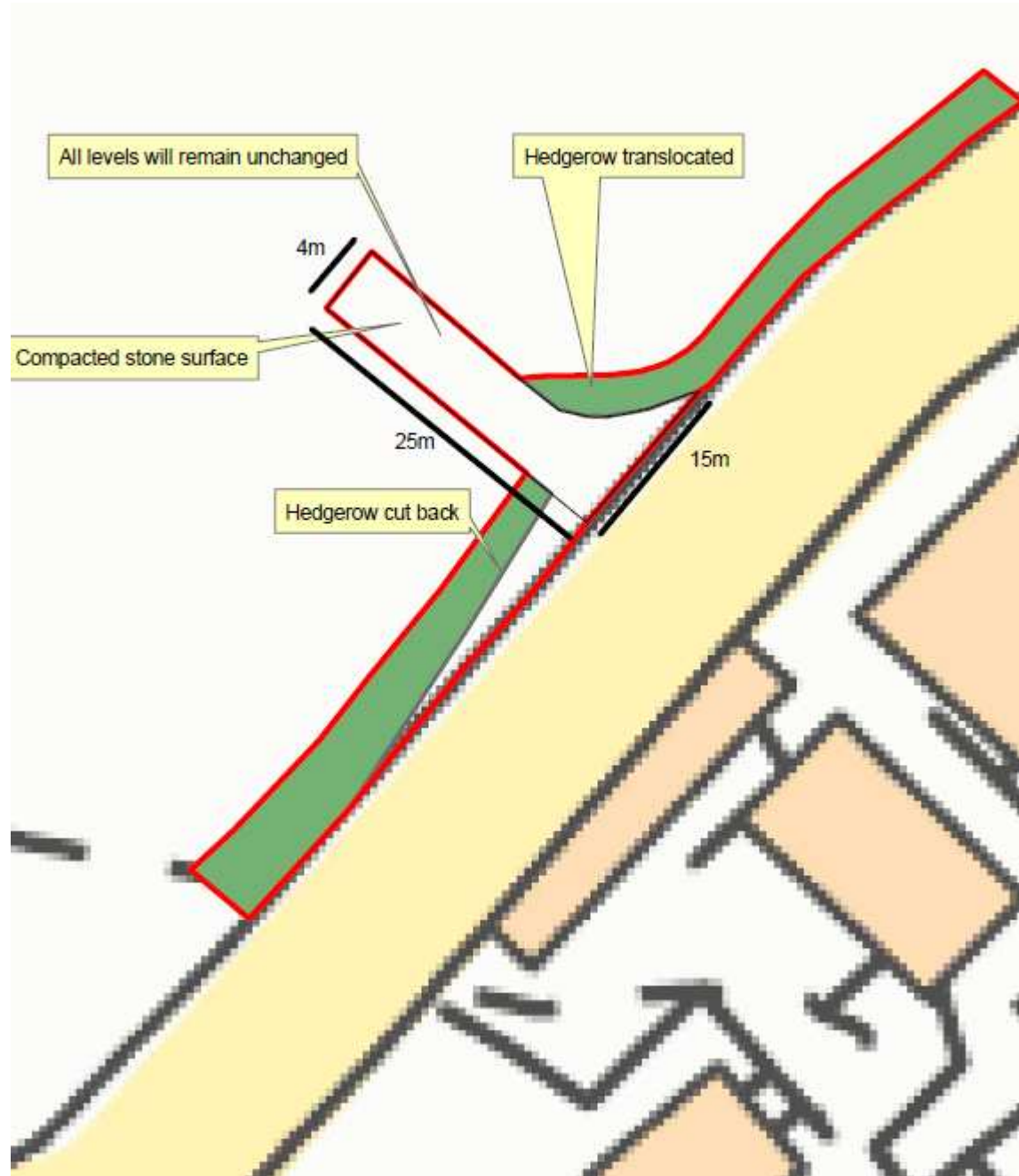
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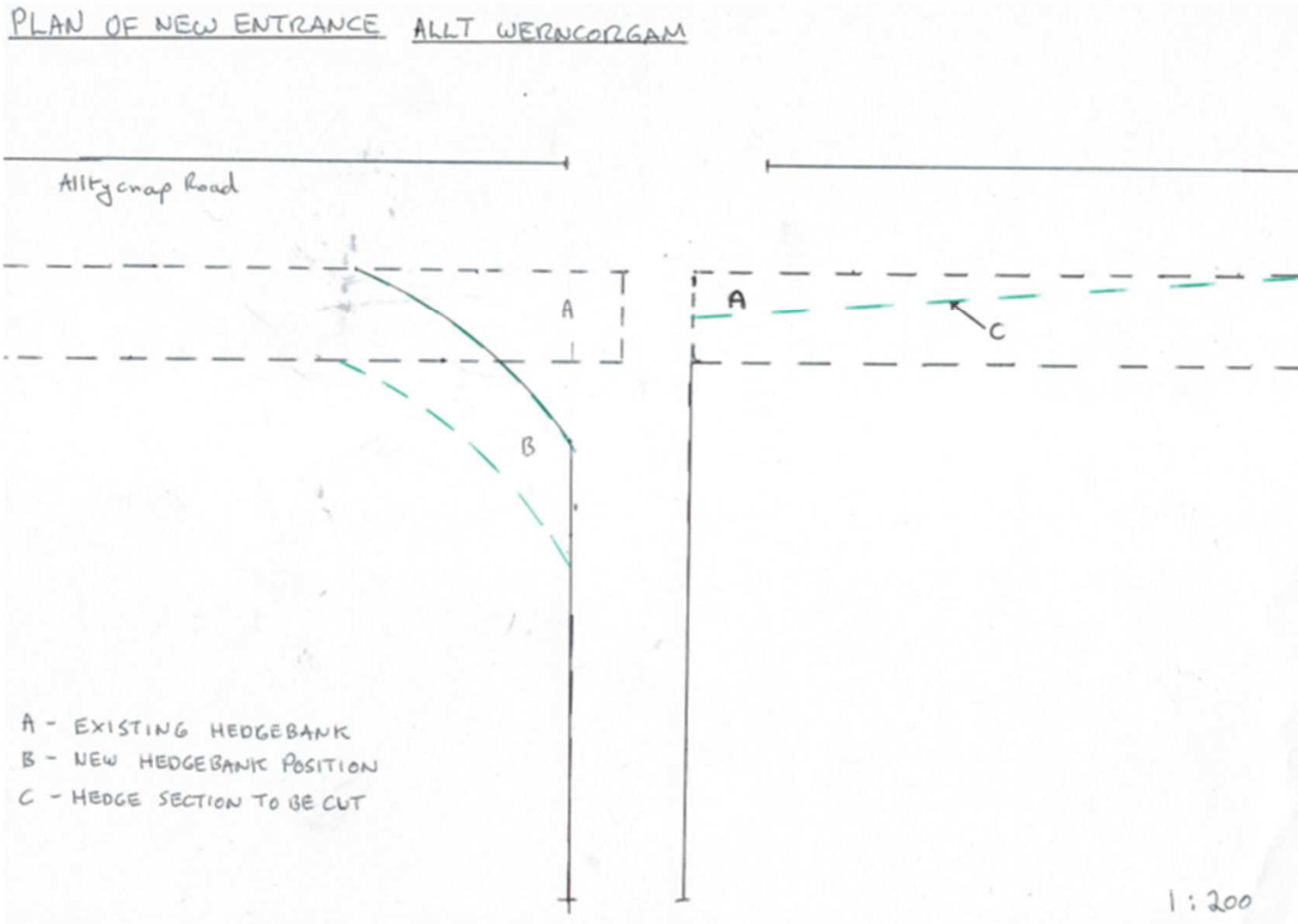
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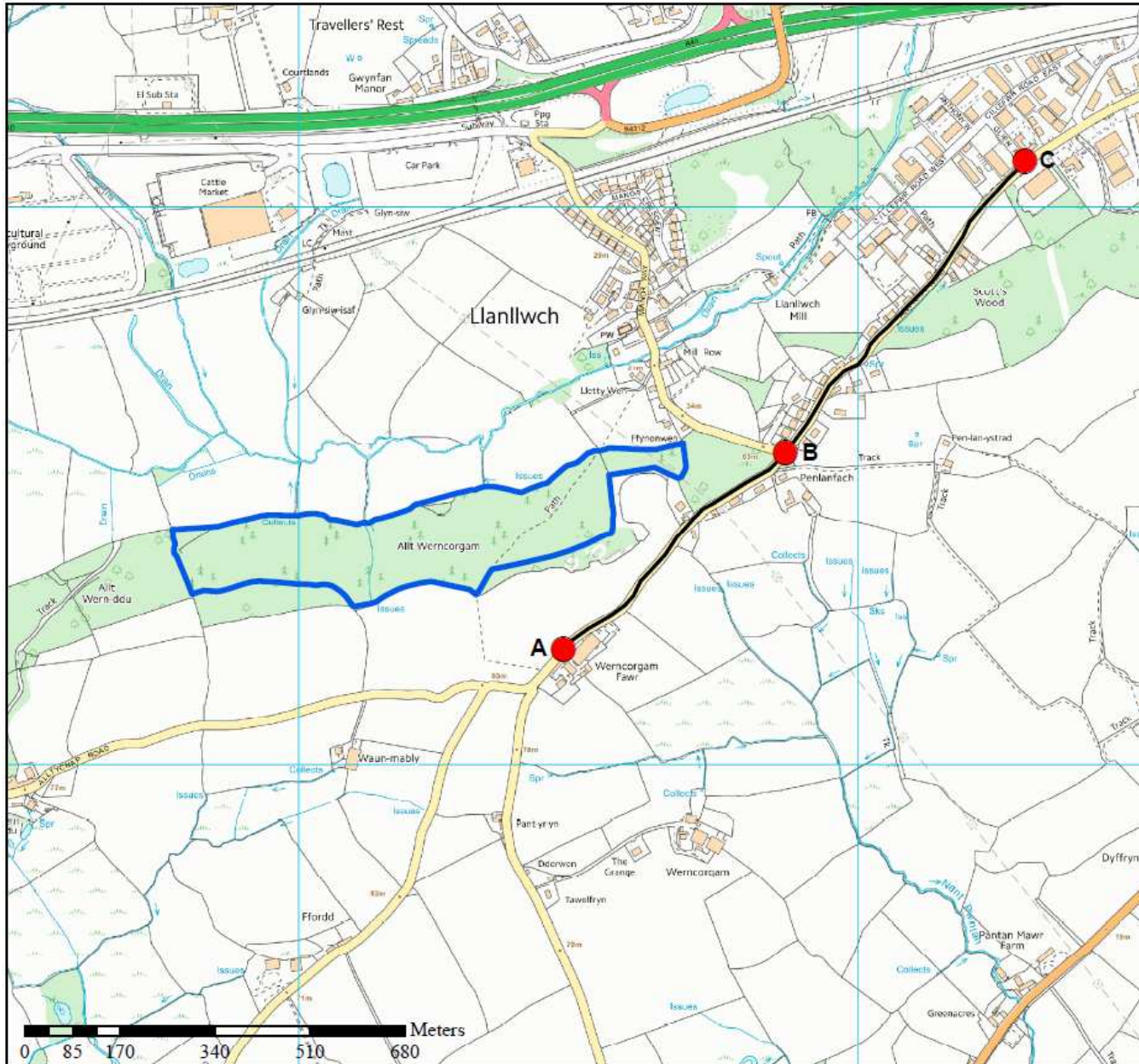
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W/37690



Allt Werncorgam - Traffic Management Plan

Legend

- Traffic Management Points
- Haulage Route

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AL100018344

OS sheets:
#os tile ref

Scale 1:10,000



Lloyds Bank Chambers
14 High Street
Llandovery
Carmarthenshire
SA20 0PY
Tel: 01550 721442
Fax: 01550 721446

Tudalen 170

W/37690



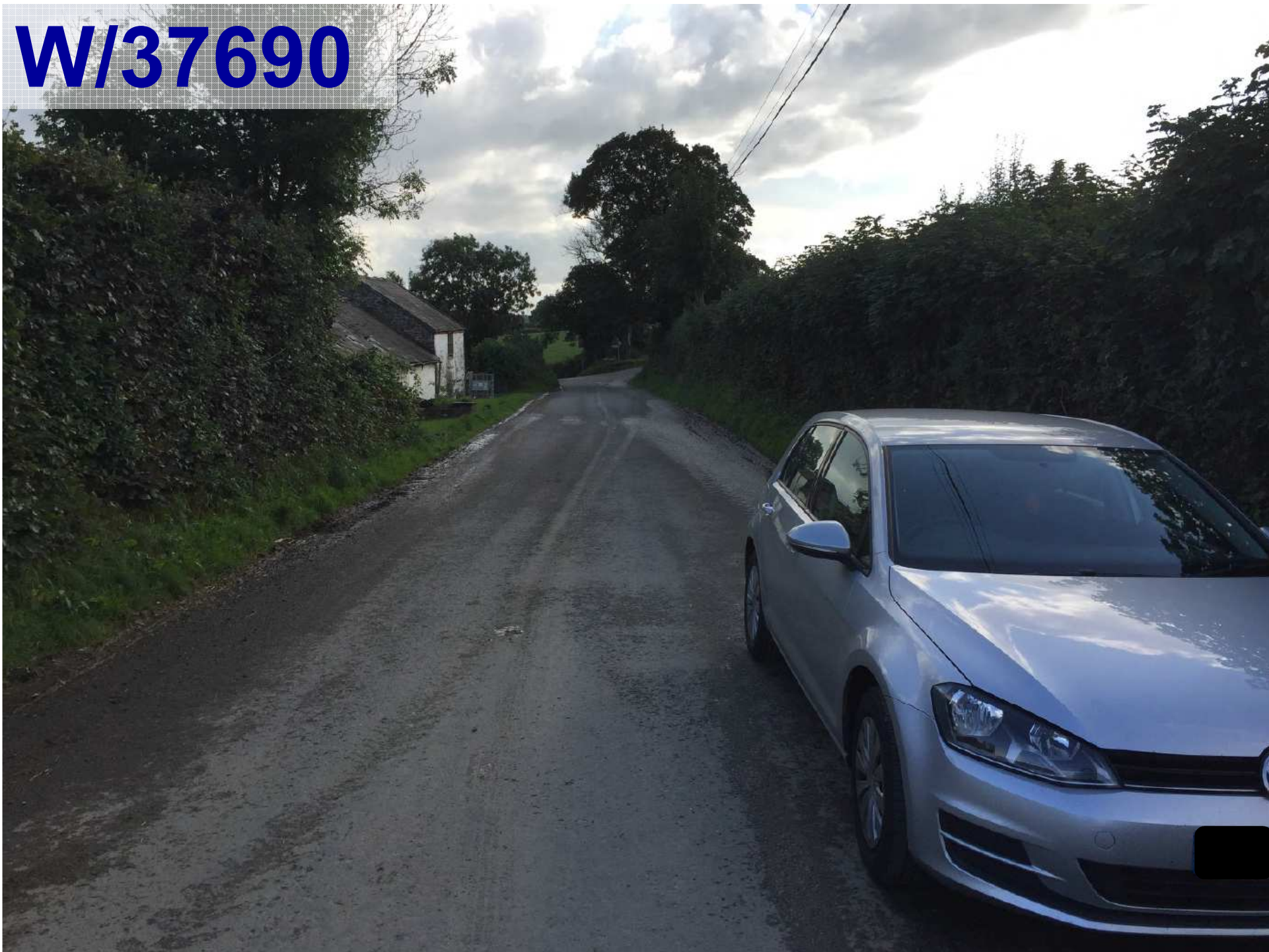
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Tudalen 171

Tudalen 172

W/37690



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Tudalen 173

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Tudalen 175

Tudalen 176

W/37690



W/37690



Tudalen 177

Tudalen 178

W/37690



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Tudalen 179

Tudalen 180

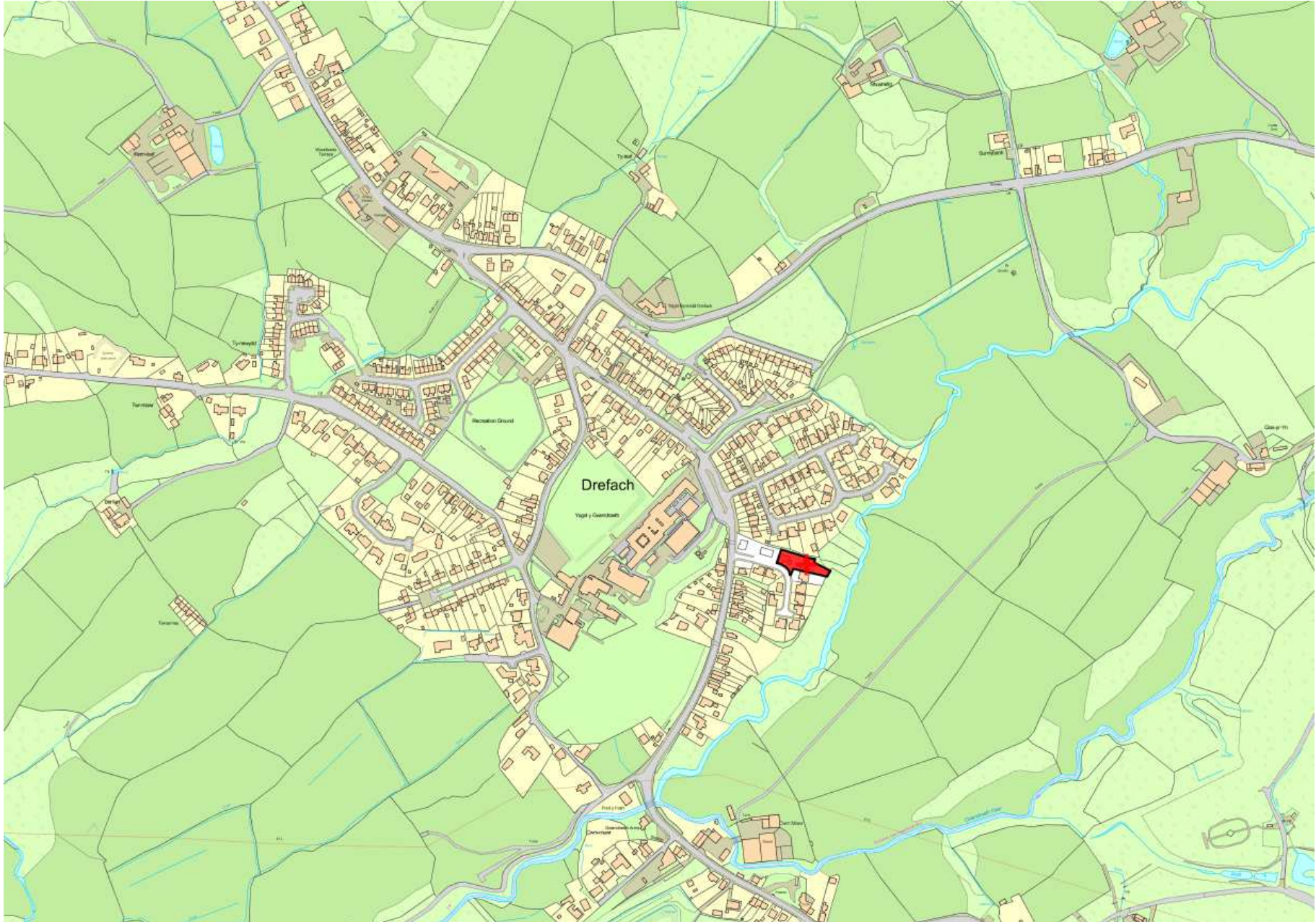
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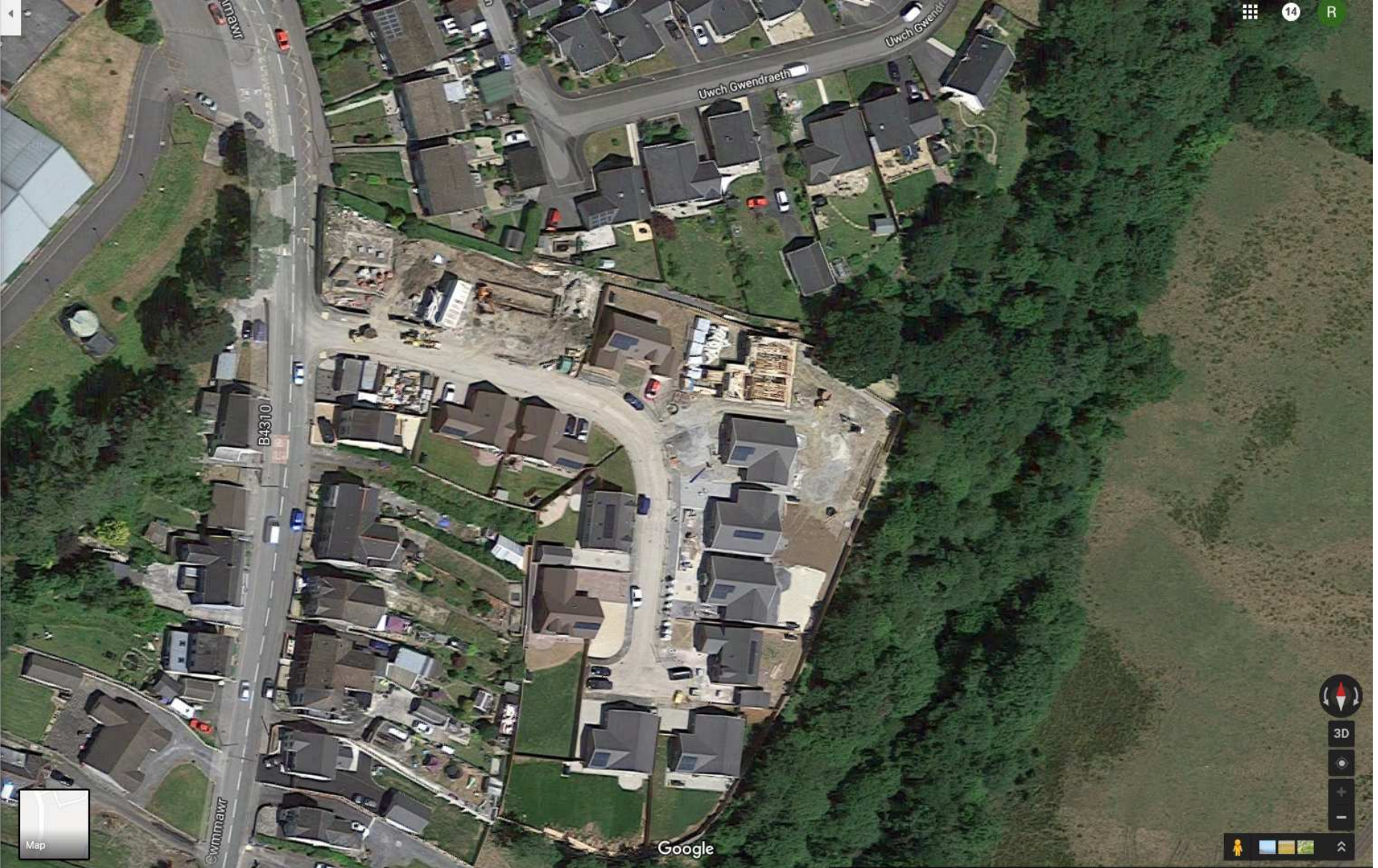


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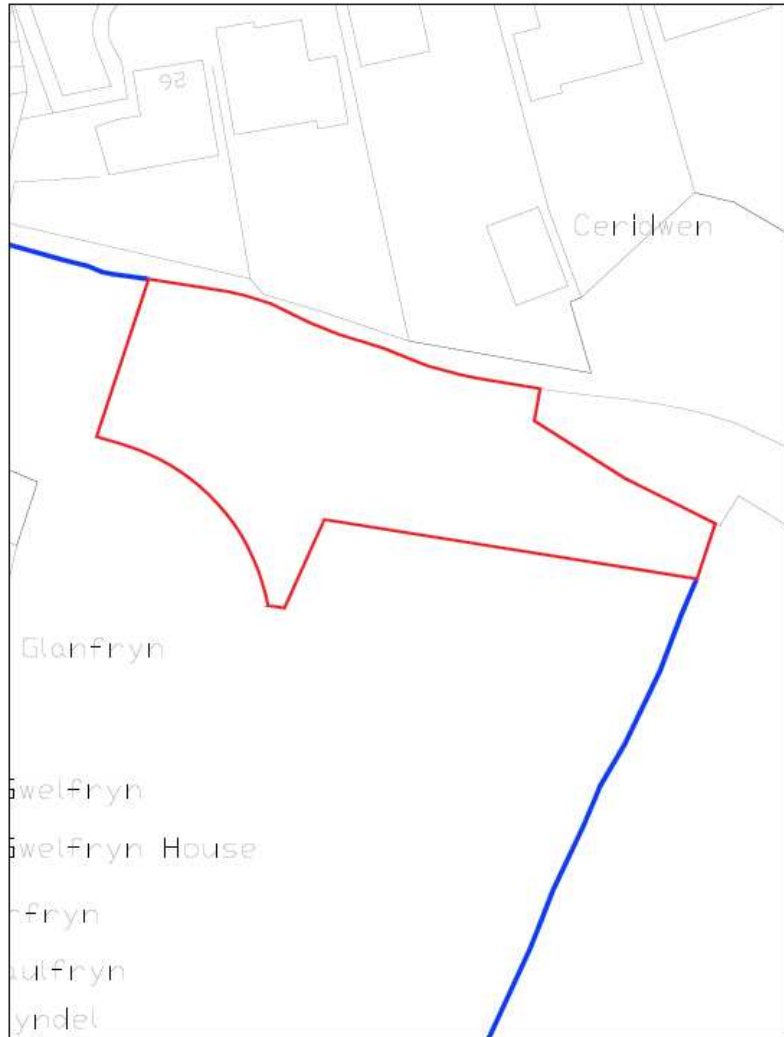
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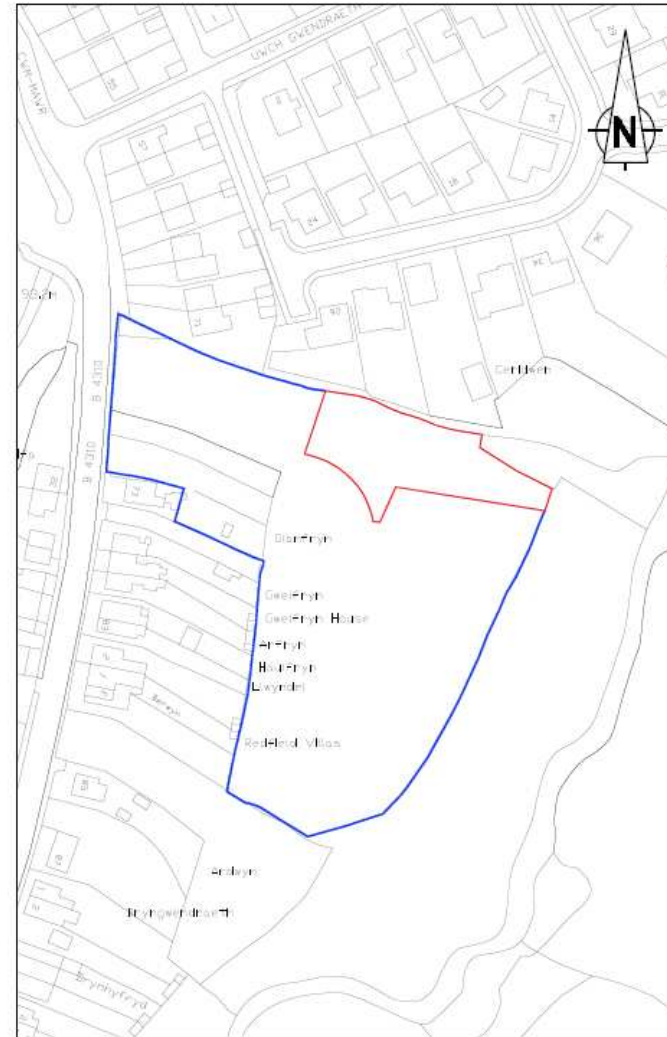
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PROPOSED SITE PLANS



Site Block Plan 1:500

CAE COCH, DREFACH



Site Location Plan 1:1250

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W/37831

PROPOSED SITE PLAN

CAE COCH, DREFACH



W/37831



W/37831

PLOT 5 - SARON 4



Front Elevation 1:100



Rear Elevation 1:100



Ground Floor Plan 1:100

CAE COCH, DREFACH



Side Elevation 1:100



Side Elevation 1:100



First Floor Plan 1:100

W/37831

PLOT 4 - SARON 4



Front Elevation 1:100



Rear Elevation 1:100



Ground Floor Plan 1:100

CAE COCH, DREFACH



Side Elevation 1:100



Side Elevation 1:100



First Floor Plan 1:100

Tudalen 190

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Tudalen 191

Tudalen 192

W/37831



W/37831



Tudalen 193

Tudalen 194

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Tudalen 195

Tudalen 196

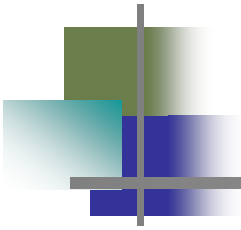
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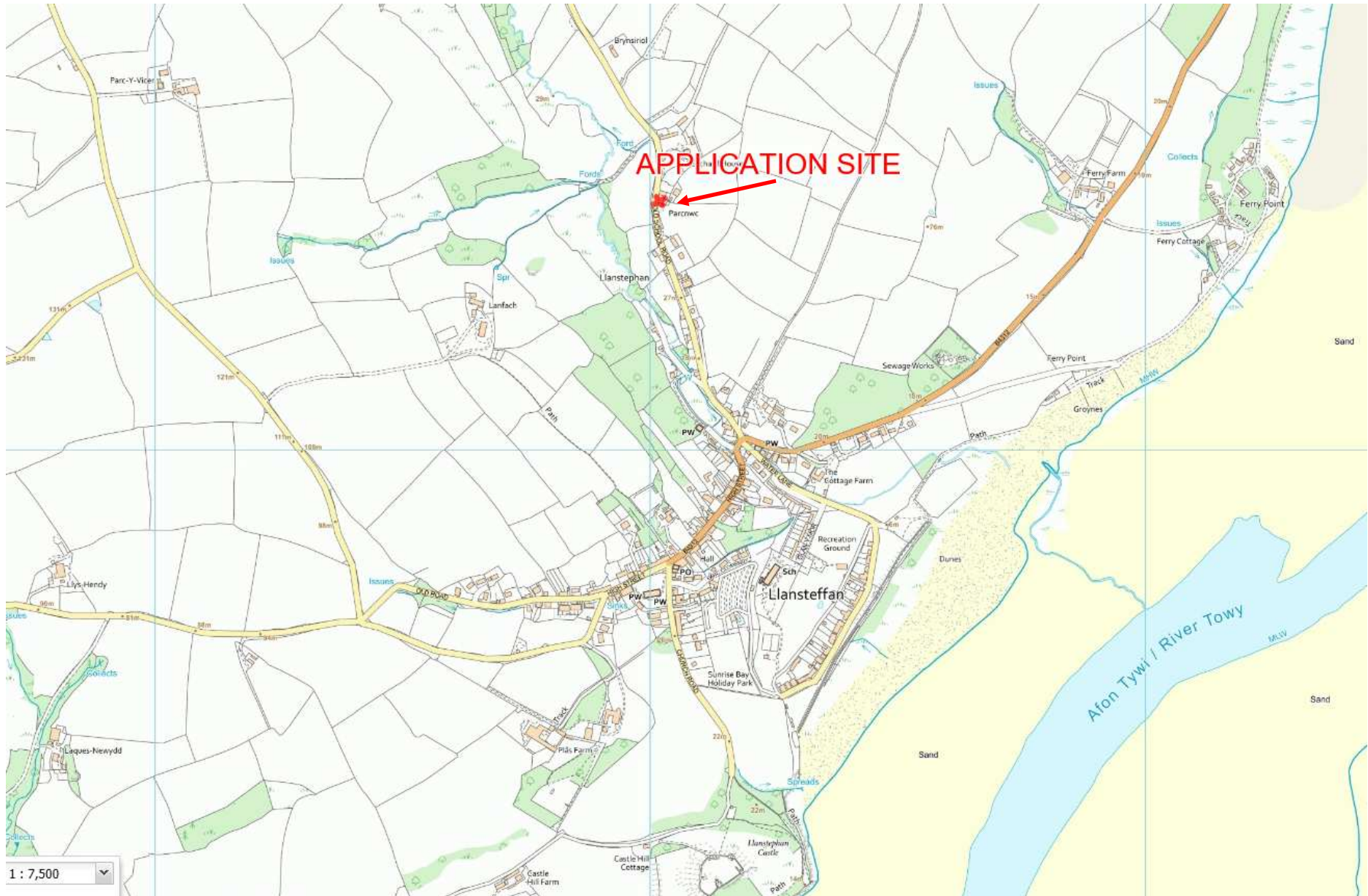


Tudalen 197

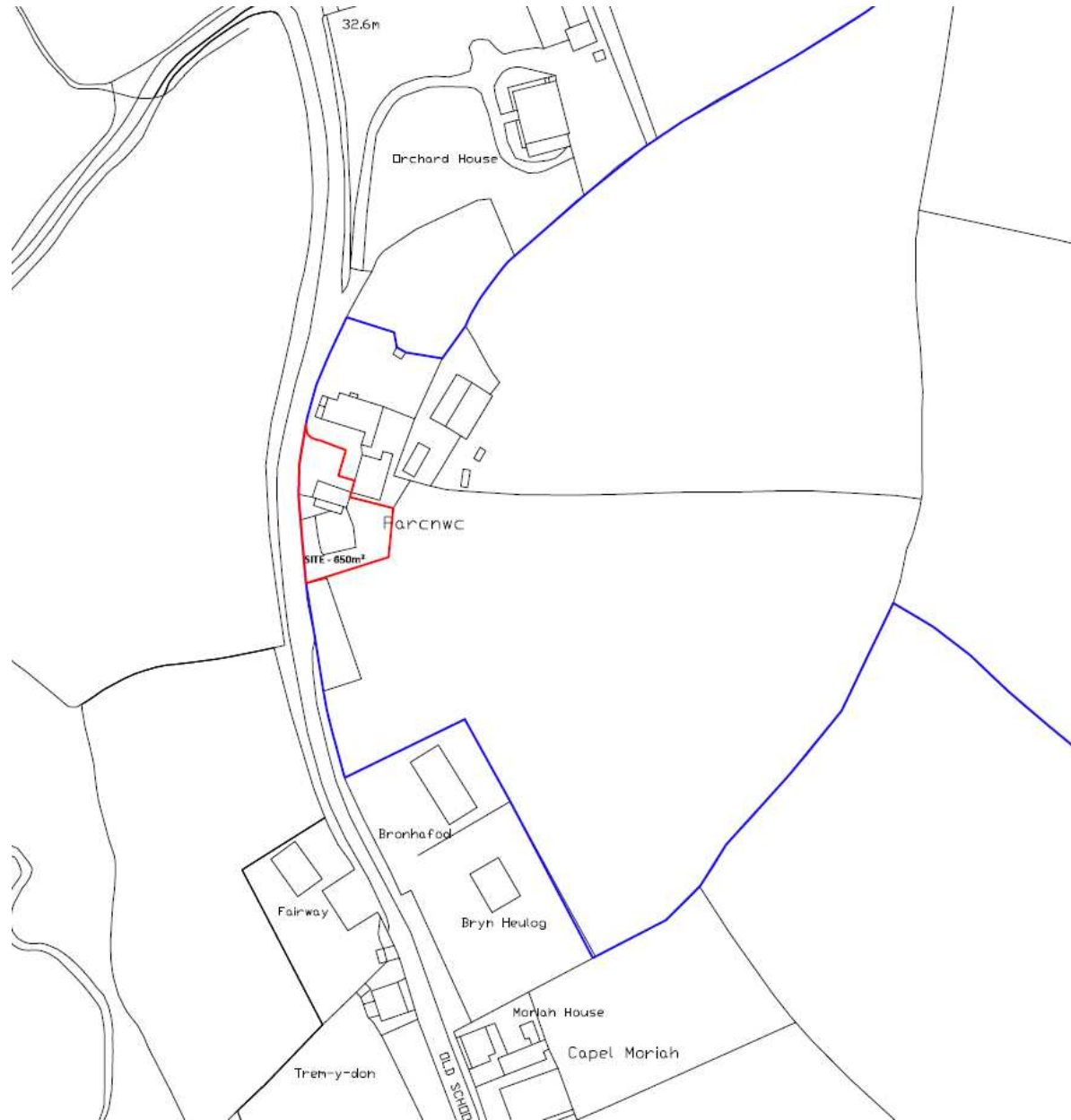


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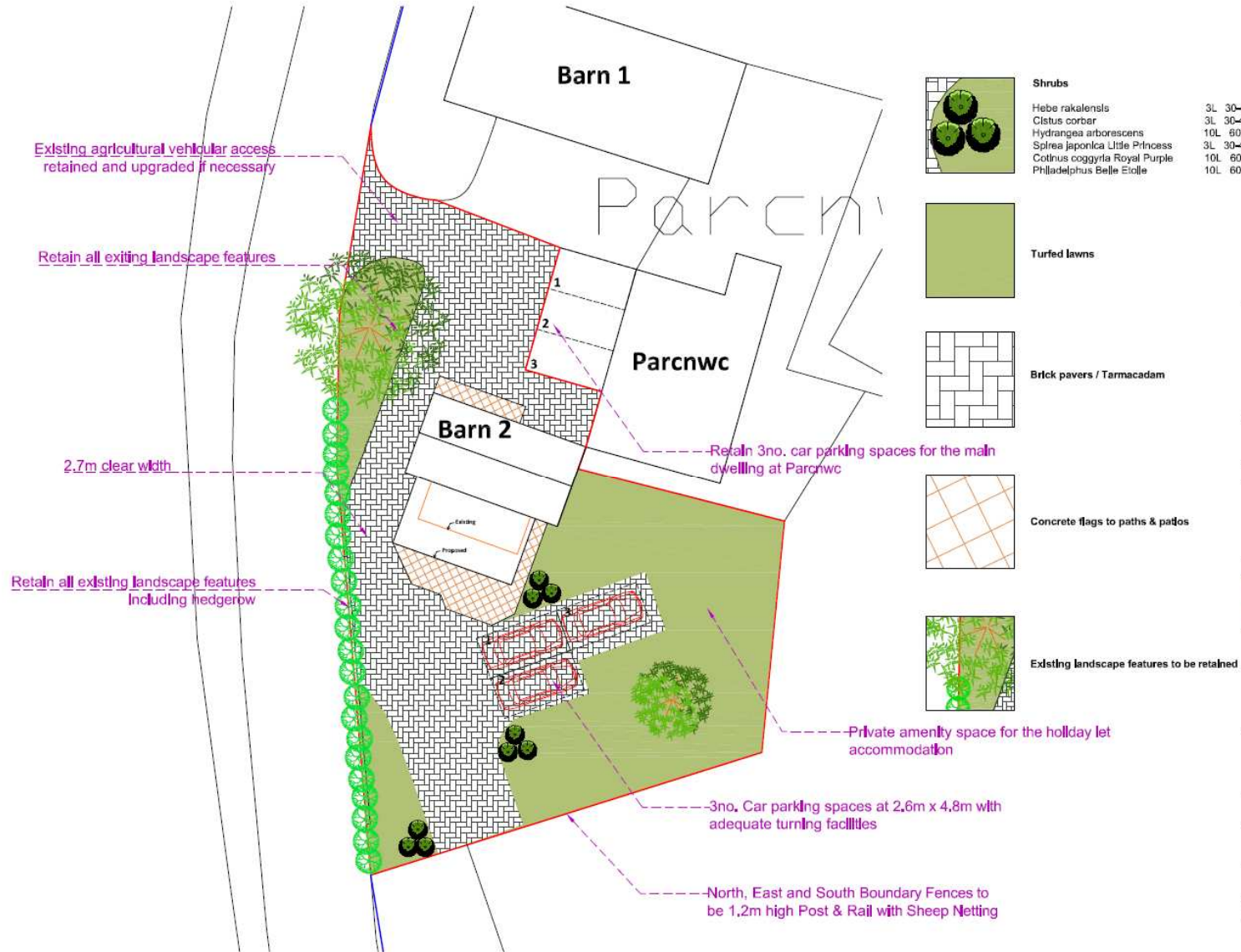


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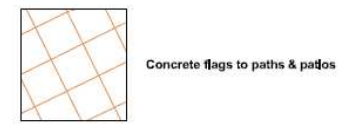
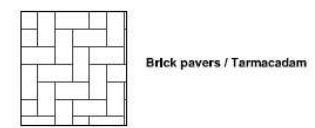
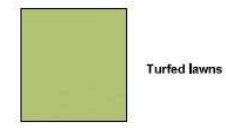


W/38027

SITE BLOCK PLAN



- Shrubs**
- Hebe rakalensis 3L 30-45cm
 - Cistus corber 3L 30-45cm
 - Hydrangea arborescens 10L 60-90cm
 - Splrea japonica Little Princess 3L 30-45cm
 - Cotinus coggyria Royal Purple 10L 60-90cm
 - Philadelphus Belle Etoile 10L 60-90cm



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PLANNING

Revision	Description	Date
A	Extension made smaller with suborchate pitched roof	22.10.2018
B	Lean to 1/4 of pitched roof to proposed extension	25.10.2018



Project Client
Messrs Roberts

Project Title
Parcncw Farm, Old School Road, Llansteffan, SA33 5HA

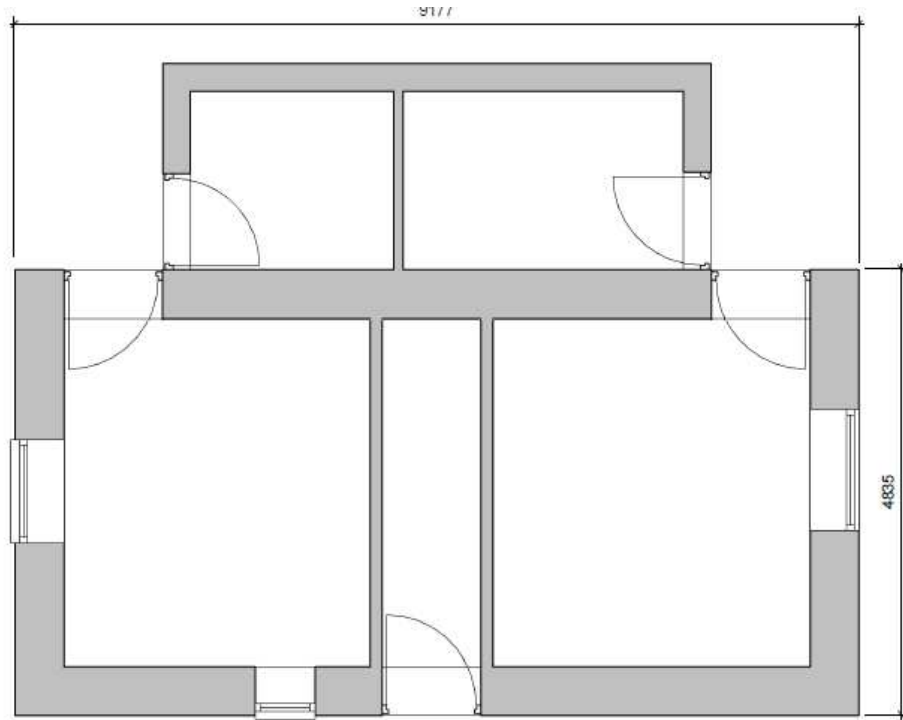
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Date 22.10.2018	Job No. 742	Drawing No. 02/A
Rev.No. B	Checked	Sheet Size A3

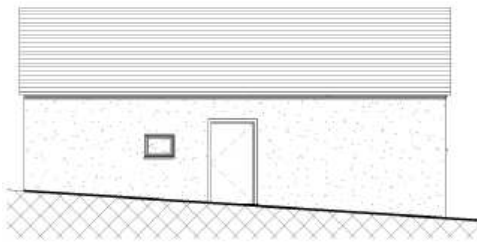
SAURO ARCHITECTURAL DESIGN
9 ELLISTON TERRACE, CARMARTHEN
CARMARTHENSHIRE, SA31 1HA,
Tel: 01267 233 684
email: design@sauroarchitectural.co.uk
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Proposed Site Plan 1:200

W/38027



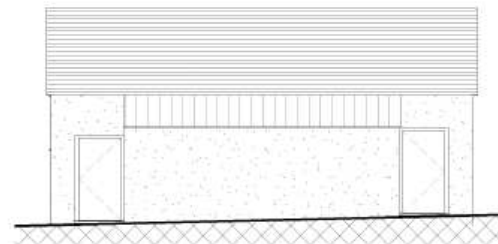
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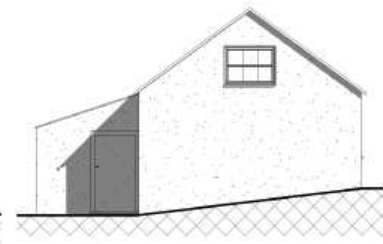
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West Elevation 1:100

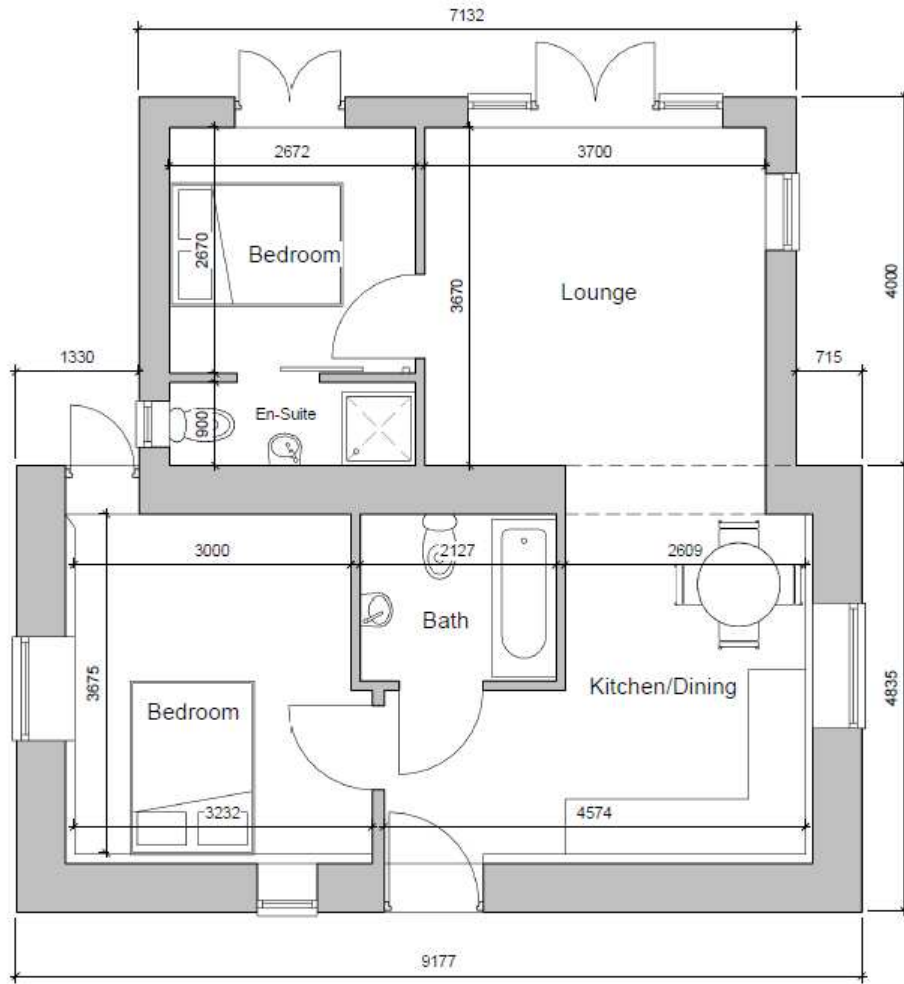


South Elevation 1:100

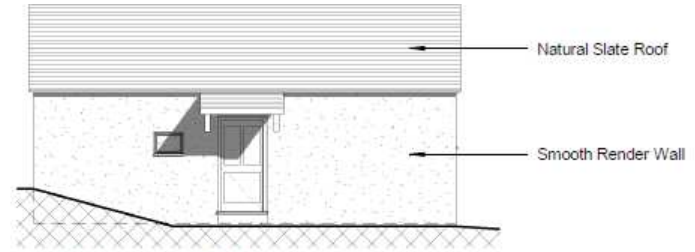


East Elevation 1:100

W/38027



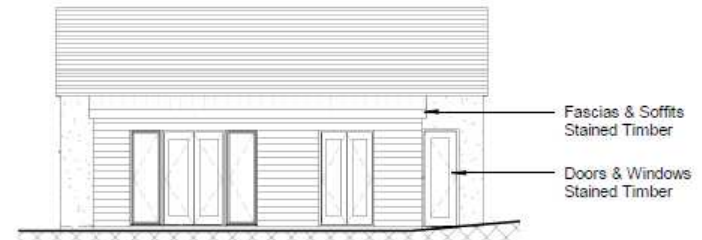
Ground Floor Plan 1:50



North Elevation 1:100



West Elevation 1:100



South Elevation 1:100



East Elevation 1:100

W/38027



Tudalen 205

Tudalen 206

W/38027



W/38027



W/38027



W/38027



Tudalen 210

W/38027



W/38027



Tudalen 211

Tudalen 212

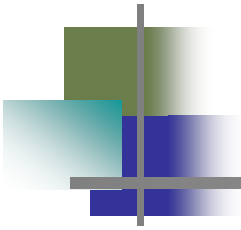
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***CEISIADAU YR ARGYMHELLIR EU
BOD YN CAEL EU GWRTHOD***

**APPLICATIONS RECOMMENDED
FOR REFUSAL**



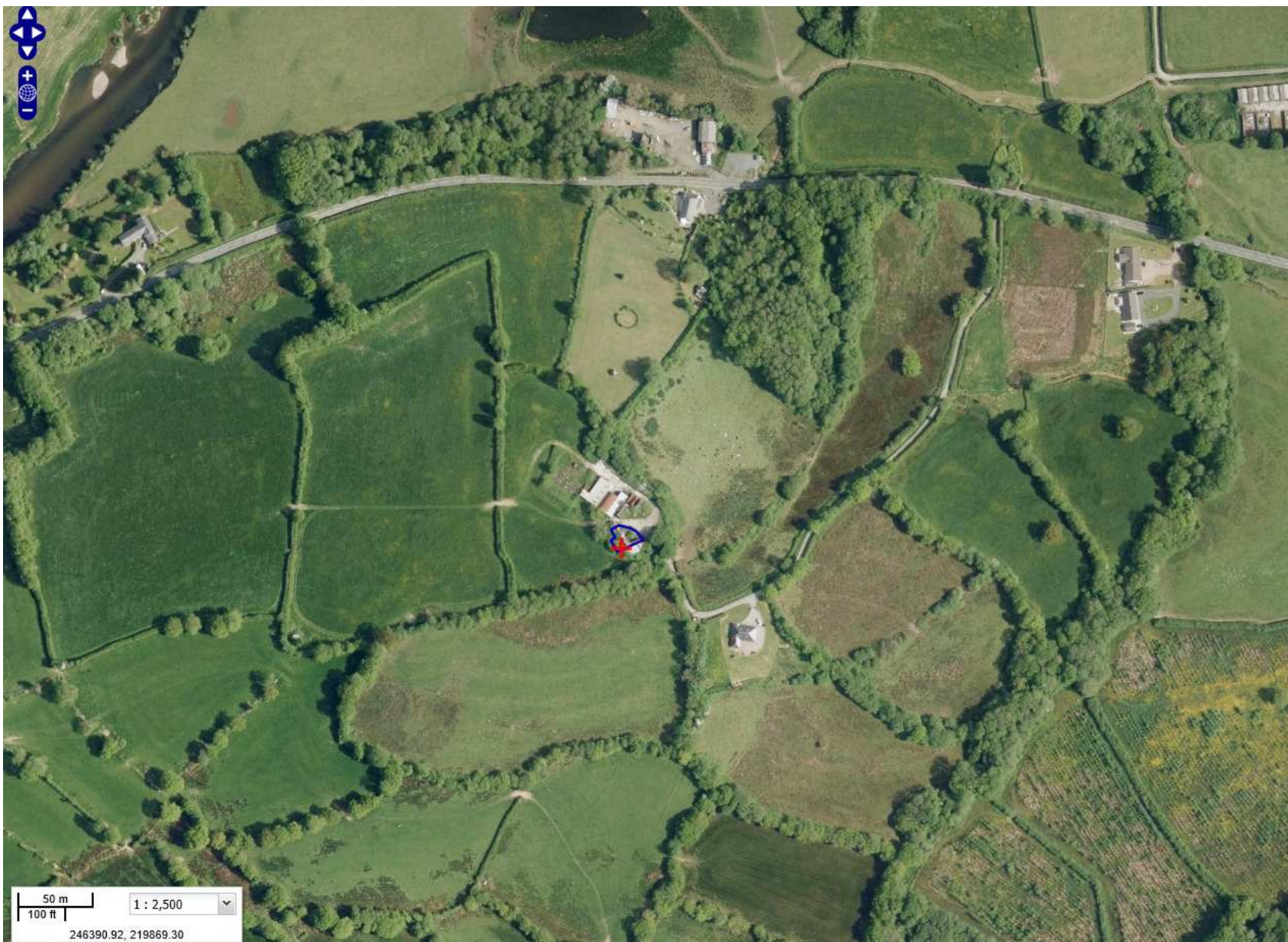
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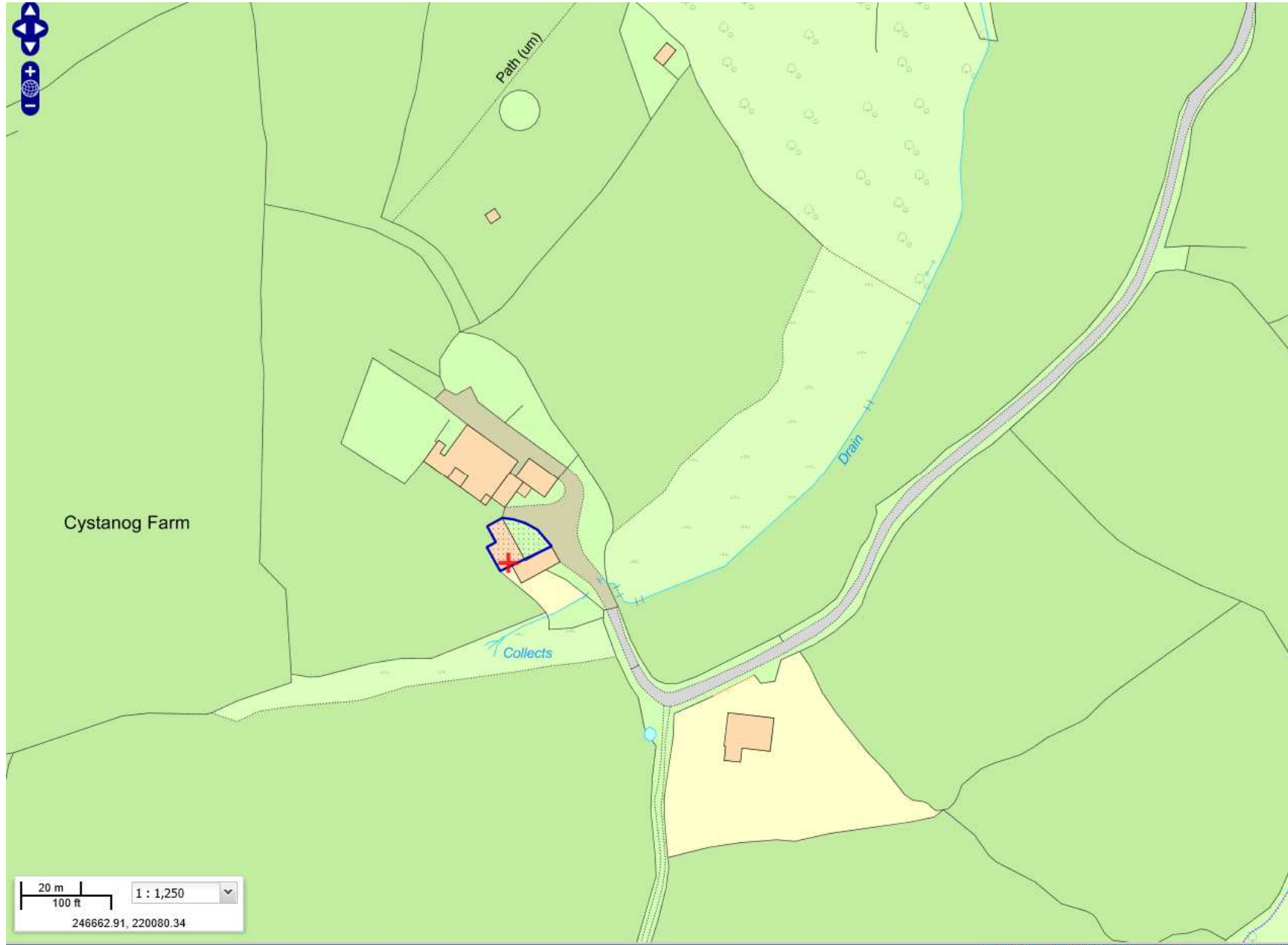


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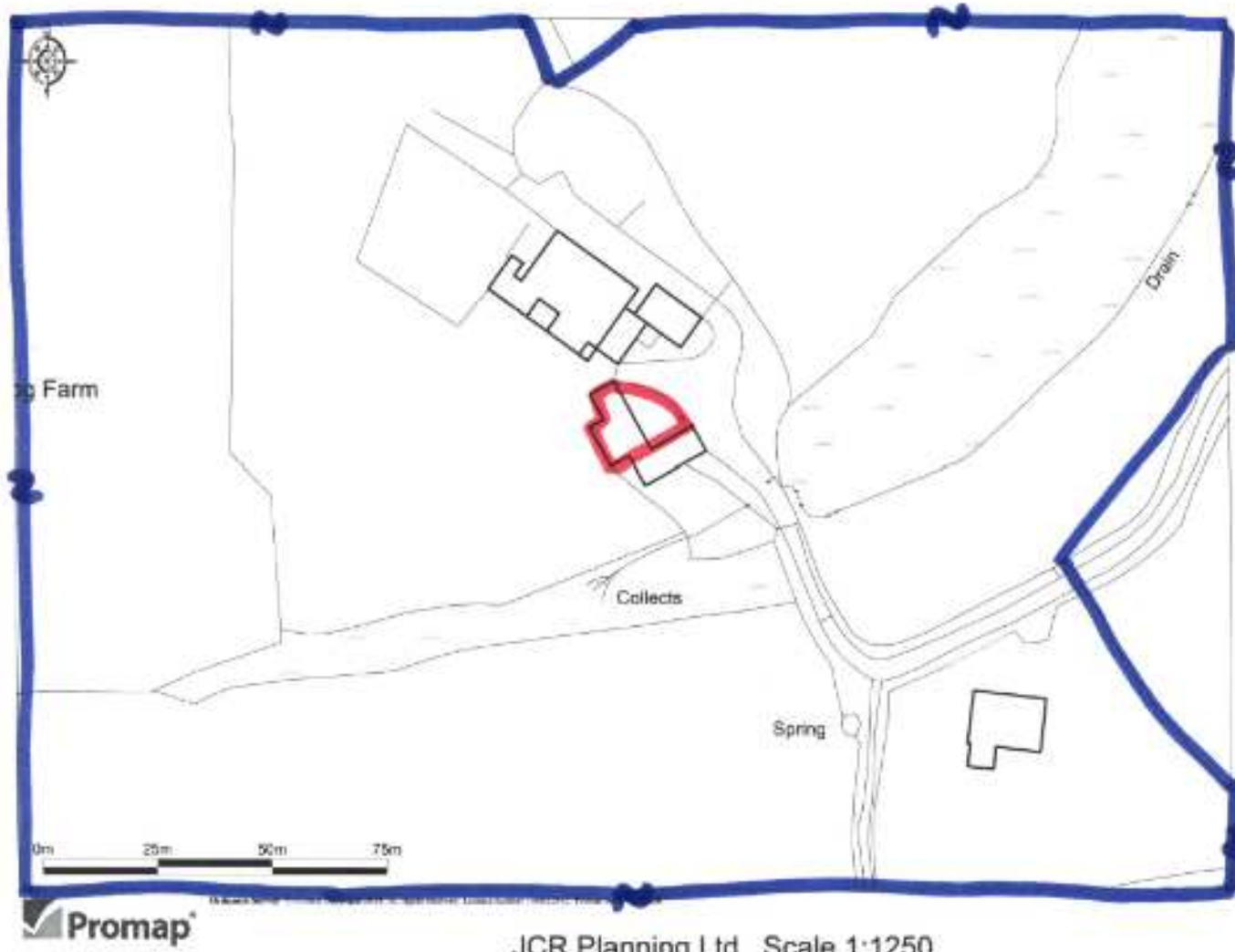


W/37164



W/37164

Cystanog Farm, Capel Dewi Road, Llangunnor, Carmarthen



JCR Planning Ltd. Scale 1:1250

W/37164



Tudalen 219

Tudalen 220

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Tudalen 221

Tudalen 222

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Tudalen 223

Tudalen 224

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W/37164



Tudalen 225

Tudalen 226

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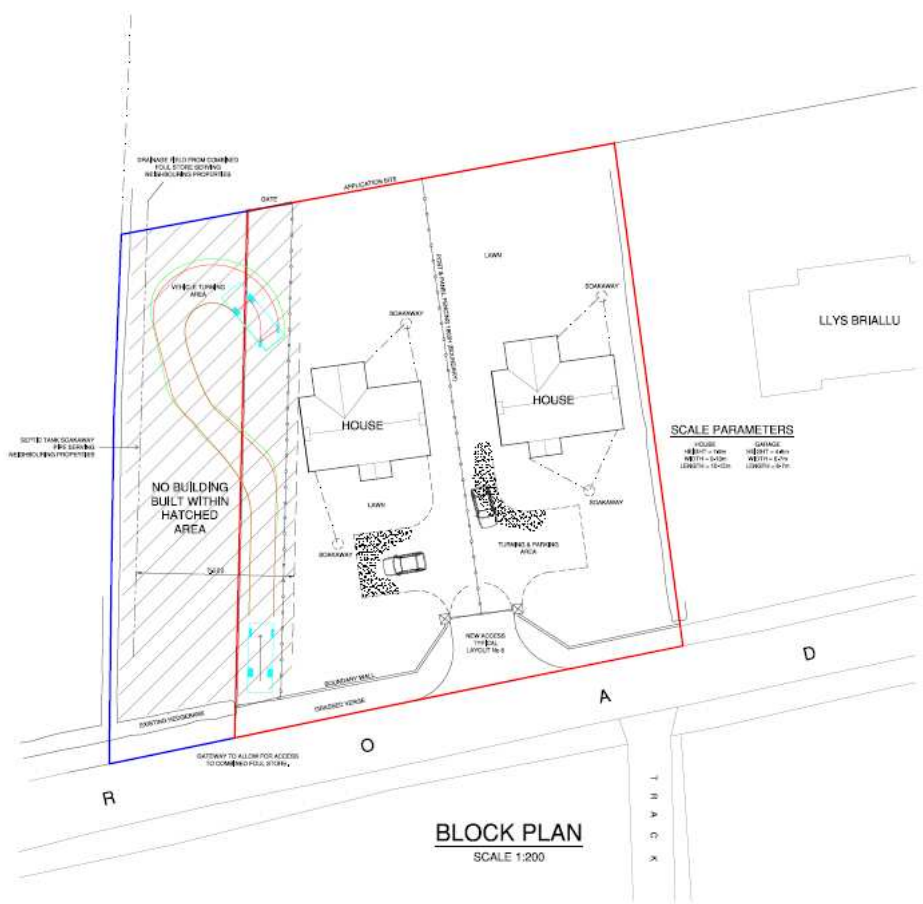
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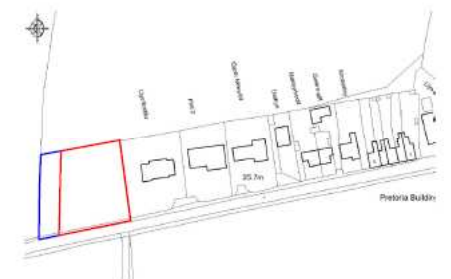
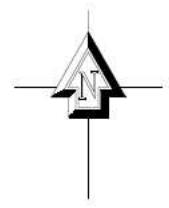
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ORIGINAL DRAWING A1



BLOCK PLAN
SCALE 1:200



LOCATION PLAN
LICENCE NUMBER = 100012867
SCALE 1:1250

Rev	Comments	Date
A	General Update	09.06.17
B	Reduce Application size	20.04.18
C	General Update	20.06.18

Drawing Recorded
 Project Designer: **TO BE ADVISED**
 Status: **CULTURE PLANNING APPLICATION**
 Client: **MR D THOMAS**

HARRIES
 PLANNING DESIGN MANAGEMENT
 Harries, Eglwysvale, Nantolobeth, SA43 3UP, Wales.
 T: 01239 881 499 F: 01239 881 453 E: wfh@hdm.org.uk

Project: **Proposed Works On Land Adjacent to, Llys Briallu, Pontcowin, Bancyfein, Carmarthenshire, SA33 53A**

Drawing Title			
BLOCK & LOCATION PLAN AS PROPOSED			
Scale	Drawn By	Checked By	Date
---	EBW	WTH	10.03.2017
Job No:	Drawing No:	Rev:	
1589	01	C	

W/37267



Tudalen 231

Tudalen 232

W/37267



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Tudalen 233

Tudalen 234

W/37267

